



**Spring Bank Conservation Area
Management Plan (North side)**
Draft for Review



seven.

Figure 1 - Photograph along Spring Bank looking west from the Ferensway junction approach (Author, 2023)

Street	Spring Bank	Address	Total Fix technology, 46
Historic Photo along Vale Street – 1904 (Hull Then and Now, Paul Gibson)		Current Photo – 11/05/2023 (author)	
			
Historic Photo from 04/10/94 (Phil Hampel)		Current Photo – 11/05/2023 (author)	
			

Building Notes

Vale Street was laid out in 1852 and built out by 1860 as a predominantly residential street comprising of two storey terraced residential properties. No 46 Spring Bank at the corner of Vale Street was built between 1856 and 1893 and completed the end of the earlier terrace of residential properties on the north side of Spring Bank. The 1904 photograph shows that No 46 was the only building along this urban block that did not have a front garden which would suggest that it was designed as a corner shop at the end of the residential terrace that turned the corner onto Vale Street. The building comprises of a three storey building with retail use at ground floor level and residential above with a reduced scale compared to the adjacent No 48 Spring Bank. The building is set back from the street to align with the former residential properties adjacent. The external walls are buff brickwork with splayed stone lintel details to windows. The roof is a hipped roof of slate finish with a feature chimney. Access to the upper floor residential properties is from Vale Street. Upper floor windows were originally vertical sliding sash with Georgian proportions.

In the 1980's-1990's the ground floor level shopfront was extended out to the Spring Bank frontage with a metal framed shopfront and rooflight to increase the floor area to the shopfront. The earlier 1904 image shows that the unit had an external retractable awning at this time. The upper floor windows including a possible bay window to the first floor Vale Street elevation have been removed and replaced with uPVC windows throughout. The entrance door to the upper floor residential unit has been retained on Vale Street including the scroll detail portico and timber panelled door. The building has been subject to various extensions to the rear of the property, visible from Vale Street. Cast iron rainwater goods have been replaced with PVC gutters and downpipes and fascias have been replaced in part to the rear with PVC fascia's. A Planning Application was submitted in 2018 to install external roller shutters on the front and side elevation which was refused permission. The lack of built form on the opposite corner of Vale Street means that No 46 is highly visible at the entrance to Spring Bank from Ferensway and serves as a **key focal building** marking the start of the Conservation Area.

Monitoring Notes

The building is in relatively good condition with signs of structural movement or deterioration that need to be addressed as a priority. Any works to remove the existing window lintels or side entrance door portico and pilasters on Vale Street should not be permitted as these are the last remaining historic features that contribute to the buildings character.

Recommended Actions

As a key focal building at the entrance to Spring Bank, No 46 Spring Bank would benefit from restoration of the historical features as follows :-

- Remove metal framed shopfront and rooflight and replace with traditional timber shopfront with stallrisers, pilasters, corbel detail, fascia and cornice.

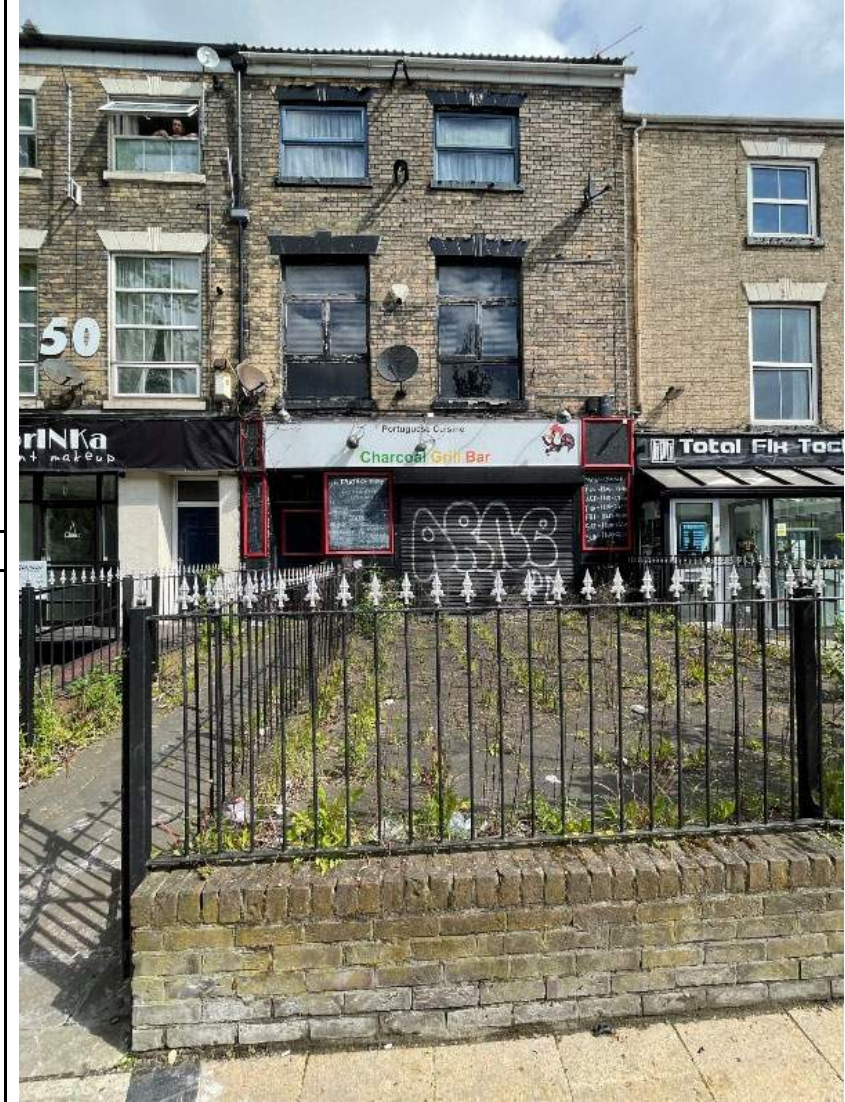
- Reinstall external awning.
- Remove uPVC windows to upper floor level and replace with Georgian sliding sash windows.
- Reinstall feature bay window to first floor level to provide visual interest and quality to the Vale Street frontage.
- Retain and restore the historic pilasters and portico to the Vale Street entrance.
- Remove PVC fascias and restore timber fascias throughout.
- Remove PVC rainwater goods and replace with cast iron gutters and downpipes.

Street: Spring Bank

Address: Charcoal Grill Bar, 48

Historic Photo along Spring Bank – 1904
(Hull Then and Now, Paul Gibson)

Current Photo – 11/05/2023 (author)



Historic Photo from 04/10/94 (Phil Hampel)



Building Notes

No 48 Spring Bank was built between 1856 and 1893 and was built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group with No 50 Spring Bank with consistent details evident to both 48 and 50. The 1904 photograph shows that at this point the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens which would confirm that these were originally built as grand three storey residential properties. The external walls are of buff brickwork with feature splayed stone window lintels and stone cills and vertical sliding sash windows with Georgian proportions with 6 over 6 to first floor and 3 over 3 to second floor level.


Between 1904 -1994, the ground floor level was converted to retail use (likely to be at the same time as No 50 due to similarities in proportions and detailing) with the external landscape at street level and a stepped access into the retail unit. A side door was incorporated to the LHS to provide access to the first and second floor level residential accommodation. The 1994 photograph shows that the eaves level originally featured decorative timber eaves brackets supporting a timber gutter and cast iron downpipes. The roof finish was a slate finish with chimneys to the LHS and RHS of the group.

Today, the building has suffered from a series of modifications that have led to the loss of historical features that has been detrimental to the historic character of the Conservation Area. The original sliding sash windows to the first and second floor level have been removed and replaced with timber casement windows that do not reflect the historic proportions of the original windows. These are currently in poor condition. The feature timber brackets and timber gutter to the eaves level have been removed and replaced with a PVC fascia and gutter. The cast iron downpipes have been replaced with PVC downpipes. The slate roof finish has been replaced with concrete pantile roof tiles. The addition of satellite dishes, ariels, brackets and alarm boxes has created visual clutter to the external wall. The low quality timber shopfront is in need of replacement. Externally, the ground level has been elevated to create a raised external seating area and a ramped entrance to provide accessibility to the retail unit with a low level brick wall and iron spearhead railings that do not compliment the simple Georgian style of the building.

The building has been subject to a variety of Planning and Change of use applications.

- 1986 - application to use the first and second floor level as a hairdressers (status unknown) (Ref No 86/00480/PF).
- 1995 – application for Change of Use from shop to café/bar (status unknown) (Ref No 88/00509/PF).
- 1996 – Application for alterations to shopfront, erection of single storey rear extension (beer store) and erection of fire escape stair at rear (status unknown) (Ref No 96/00330/PF).

	<ul style="list-style-type: none"> • 1996 – Application to erect single storey extension to form kitchen, escape stair, extractor flue, alterations to shopfront and access ramp in forecourt (amended proposals) (status unknown) (Ref No 96/00331/PF) • 1999 – Erection of wall and railings around front forecourt to enclose external drinking area including increase in level of forecourt (status unknown) (status unknown) (99/00292/PF) • 2022- Change of use to 5 x self contained flats at ground, first and second floor including erection of first floor extension (Permitted) (22/01121/FULL). • 2023 – Application for Change of to 10 bedroom house of multiple occupation (sui generis HMO) including external alterations to frontage, first floor rear extension and associated elevational alterations (Permitted) (Ref NO 23/00460/FULL).
Monitoring Notes	<p>The building appears to be structurally stable from the Spring Bank frontage with no immediate cause for concern, although the building has suffered from a lack of general maintenance including peeling paintwork to the feature stonework and timber windows. Any works to remove the existing stonework lintels and cills should not be permitted.</p>
Recommended Actions	<p>The recent modifications to No 48 have been detrimental to the character of the Conservation Area. No 48 would benefit from a collective restoration along with the adjacent No 50 Spring Bank as a group.</p> <p>The following works are recommended to restore the historic character :-</p> <ul style="list-style-type: none"> • Removal of the raised external terrace and the lowering of the landscaping to street level • Removal of the existing low level wall and iron railings and replacement with railings that are more appropriate for the simple Georgian style of the building • Removal of the timber casement windows and replacement with new 6 over 6 vertical sliding sash windows to the first floor level and 3 over 3 to the second floor level. • Removal of the concrete pantile roof and replacement with slate roof finish to match the adjacent No 50. • Removal of the PVC gutter, downpipes and fascia and reinstatement of the feature timber brackets, timber gutter and cast iron downpipes. • The removal/ rationalisation of the satellite dishes, alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation. • Remove cement mortar to brickwork and undertake lime repointing where required.

Street: Spring Bank	Address	VictoriNka, 50
Historic Photo 27/6/84	Historic Photo from 04/10/94 (Phil Hampel)	Current Photo – 11/05/2023 (author)
		
Building Notes	<p>No 50 Spring Bank was built between 1856 and 1893 and was built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group with the adjacent No 48 Spring Bank with consistent details evident to both 48 and 50. The 1904 photograph shows that, at this point, the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens which would confirm that these were originally built as grand three storey residential properties. The external walls are of red brickwork with feature splayed stone window lintels and stone cills and vertical sliding sash windows with Georgian proportions with 6 over 6 to first floor and 3 over 3 to second floor level.</p>	

	<p>Between 1904 -1994, the ground floor level was converted to retail use (likely to be at the same time as No 48 due to similarities in proportions and detailing) with the external landscape at street level and a stepped access into the retail unit. A side door was incorporated to the LHS to provide access to the first and second floor level residential accommodation. The 1994 photograph shows that the eaves level originally featured decorative timber eaves brackets supporting a timber gutter and cast iron downpipes. The roof finish was a slate finish with chimneys to the LHS and RHS of the group.</p> <p>Today, the building has suffered from a series of modifications that have led to the loss of historical features that has been detrimental to the historic character of the Conservation Area. The original sliding sash windows to the first and second floor level have been removed and replaced with uPVC casement windows that although reflect the historic proportions of the original windows, whilst having casement opening lights. The feature timber brackets and timber gutter to the eaves level have been removed and replaced with a PVC fascia and gutter. The cast iron downpipes have been replaced with PVC downpipes. The slate roof finish has been retained to No 50, unlike the adjacent No 48. The addition of ariels, brackets and alarm boxes has created visual clutter to the external wall. The low quality timber shopfront is in need of replacement. Externally, the low boundary wall and railings to the original garden has been removed and a low quality concrete finish applied to the frontage which has been patched up following works to underground services.</p> <p>The building has been subject to a number of Planning Applications as follows :-</p> <ul style="list-style-type: none"> • 1986 – Application for erection of single-storey rear kitchen extension (Status unknown) (Ref No 86/00235/PF) • 1994 – Application for Change of Use to mixed retail and office use • 2006 – Application for change of use, first floor extension to the rear and conversion to 4 flats, retention of 2 offices and alterations to elevation (permitted) (Ref No 06/00297/COU).
<p>Monitoring Notes</p>	<p>The building appears to be structurally stable from the Spring Bank frontage with no immediate cause for concern, although the building has suffered from a lack of general maintenance. Any works to remove the existing stonework lintels and cills should not be permitted.</p>
<p>Recommended Actions</p>	<p>The recent modifications to No 50 have been detrimental to the character of the Conservation Area. No 50 would benefit from a collective restoration along with the adjacent No 48 Spring Bank as a group.</p> <p>The following works are recommended to restore the historic character :-</p> <ul style="list-style-type: none"> • Removal of the concrete landscape treatment and replacement with a higher quality landscape treatment. • Removal of the uPVC casement windows and replacement with new 6 over 6 vertical sliding sash windows to the first floor level and 3 over 3 to the second floor level.

- Removal of the PVC gutter, downpipes and fascia and reinstatement of the feature timber brackets, timber gutter and cast iron downpipes (along with the adjacent No 48).
- The removal/ rationalisation of the alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation.

Street:	Spring Bank	Address	52 Spring Bank
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Historic Photo along Spring Bank – 1904
(Hull Then and Now, Paul Gibson)

Current Photo – 11/05/2023 (author)



Historic Photo 27/6/84 (Phil Hampel)



Building Notes

52 Spring Bank was built between 1856 and 1893 and was built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group of four stories in height with the

adjacent No 54, 56, 58 and 60 Spring Bank. The 1904 photograph shows that, at this point, the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens which would confirm that these were originally built as grand four storey residential properties (with a basement level). The external walls are of red brickwork with feature splayed stone window lintels and stone cills and vertical sliding sash windows with Georgian proportions with 6 over 6 to first floor and 3 over 3 to second floor level. The roof finish was slate with a deep timber fascia, cast iron gutters and downpipes.

The 1984 photograph shows that the walls comprised of red brickwork throughout. The ground floor level is elevated, creating a lower level basement that would have been used as kitchens or servants quarters and stone steps with iron railings leading up to the main entrance door. The entrance door features a decorative entrance portico with pilasters, scroll corbel detail at the head supporting the entrance portico. By this time the front gardens, iron railings and low boundary walls had been removed. At this time the basement level was used as a retail unit with the basement window widened to allow greater visibility from the street.

Between 1984-2023 the building has been subject to further changes. The basement level has been converted back to residential use and the window size decreased to improve privacy to the basement apartment. The basement level and first floor level have been rendered (likely to be in a cement render system) to conceal the repair of the brickwork following the reduction in the window size. The windows have been replaced with new uPVC double glazed sash windows. Cast iron rainwater goods have been replaced with uPVC and the deep timber fascias at eaves level have been replaced. The stone steps, iron railings and entrance portico have been retained although would benefit from minor repair works. Highly decorative iron railings have been installed to the boundary which do not compliment the simple Georgian style of the building.

The building has been subject to a number of Planning applications :-

- 1996 – Change of use from offices to twelve one bedroom self-contained flats at 52-56 Spring Bank (status unknown) (Ref No : 96/00344/PF)
- 2013 – Installation of replacement windows to 52, 54 and 56 Spring Bank. (Permitted) Ref NO 13/01123/FULL).

Monitoring Notes	The building appears to be structurally stable from the Spring Bank frontage with no immediate cause for concern, although the building has suffered from a lack of general maintenance. Any works to remove the existing stonework lintels and cills or the removal of any details to the original portico should not be permitted.
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Recommended Actions

The recent modifications to No 52 have been detrimental to the character of the Conservation Area. No 52 would benefit from a collective restoration along with the adjacent No 54, 56, 58 and 60 Spring Bank as a group.

The following works are recommended to restore the historic character :-

- Removal of the existing highly decorative iron railings and replace with more sympathetic Georgian railings along with a higher quality landscape treatment.
- Removal of the uPVC casement windows and replacement with new timber framed sash windows.
- Removal of the PVC gutter, downpipes and fascia and reinstatement of the cast iron gutter and cast iron downpipes.
- The removal/ rationalisation of the alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation.
- The removal of the cement render to the ground floor and basement level.
- The removal of the paint to the brickwork between first and first floor window cill level.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 27/6/84 (Phil Hampel)



Address: 54 Spring Bank

Current Photo



Building Notes

54 Spring Bank was built between 1856 and 1893 and was built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group of four stories in height with the adjacent No 52, 56, 58 and 60 Spring Bank. The 1904 photograph shows that, at this point, the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens which would confirm that these were originally built as grand four storey residential properties (with a basement level). The external walls are of red brickwork with feature splayed stone window lintels and stone cills and vertical sliding sash windows to the upper floor levels. The roof finish was slate with a deep timber fascia, cast iron gutters and downpipes.

The 1984 photograph shows that the walls comprised of red brickwork throughout but by this point, the ground and basement level had been rendered and painted terracotta. The ground floor level is elevated, creating a lower level basement that would have been used as kitchens or servants quarters and stone steps with iron railings leading up to the main entrance door. The entrance door originally featured a decorative entrance portico with pilasters, scroll corbel detail at the head supporting the entrance portico. By this time the front gardens, iron railings and low boundary walls had been removed. The basement level and ground floor level have been converted to office use.

Between 1984-2023 the building has been subject to further changes. The windows have been replaced with new uPVC double glazed sash windows. Cast iron rainwater goods have been replaced with uPVC and the deep timber fascias at eaves level have been replaced. The entrance portico has been retained but has lost some of its historical details including the cornice at the head of the portico. The stone steps have been replaced with concrete steps and the iron railings have been replaced with low quality metal railings.

The building has been subject to a number of Planning applications :-

- 1996 – Change of use from offices to twelve one bedroom self-contained flats at 52-56 Spring Bank (status unknown) (Ref No : 96/00344/PF)
- 2013 – Installation of replacement windows to 52, 54 and 56 Spring Bank. (Permitted) Ref NO 13/01123/FULL).

Monitoring Notes

The building appears to be structurally stable from the Spring Bank frontage with no immediate cause for concern, although the building has suffered from a lack of general maintenance. Any works to remove the existing stonework lintels and cills or the removal of any details to the original portico should not be permitted.

Recommended Actions

The recent modifications to No 54 have been detrimental to the character of the Conservation Area. No 54 would benefit from a collective restoration along with the adjacent No 52, 56, 58 and 60 Spring Bank as a group.

The following works are recommended to restore the historic character :-

- Removal of the brickwork and stone slab steps and replacement with stone steps
- Removal of the existing handrails and railings and replacement with more sympathetic Georgian railings along with a higher quality landscape treatment to the front garden.
- Removal of the uPVC casement windows and replacement with new timber framed sash windows.
- Removal of the PVC gutter, downpipes and fascia and reinstatement of the cast iron gutter and cast iron downpipes.
- The removal/ rationalisation of the alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation.
- The removal of the cement render to the ground floor and basement level and the repair of the brickwork.
- The removal of the paint to the brickwork between first and first floor window cill level.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Address 56 Spring Bank

Current Photo – 11/05/2023 (author)



Historic Photo 27/6/84 (Phil Hampel)



Building Notes

56 Spring Bank was built between 1856 and 1893 and was built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group of four stories in height with the adjacent No 52, 54, 58 and 60 Spring Bank. The 1904 photograph shows that, at this point, the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens which would confirm that these were originally built as grand four storey residential properties (with a basement level). The external walls are of red brickwork with feature splayed stone window lintels and stone cills and vertical sliding sash windows with Georgian proportions with 6 over 6 to first floor and 3 over 3 to second floor level. The roof finish was slate with a deep timber fascia, cast iron gutters and downpipes.

The 1984 photograph shows that the walls comprised of red brickwork throughout. The ground floor level is elevated, creating a lower level basement that would have been used as kitchens or servants quarters and stone steps with iron railings leading up to the main entrance door. The entrance door features a decorative entrance portico with pilasters, scroll corbel detail at the head supporting the entrance portico. By this time the front gardens, iron railings and low boundary walls had been removed.

Between 1984-2023 the building has been subject to further changes. The basement level has been converted back to residential use. The basement level and first floor level have been rendered (likely to be in a cement render system) to conceal the repair of the brickwork following the reduction in the window size. The windows have been replaced with new uPVC double glazed sash windows. Cast iron rainwater goods have been replaced with uPVC and the deep timber fascias at eaves level have been replaced. The stone steps, iron railings and entrance portico have been retained although would benefit from minor repair works. Highly decorative iron railings have been installed to the boundary which do not compliment the simple Georgian style of the building.

The building has been subject to a number of Planning applications :-

- 1996 – Change of use from offices to twelve one bedroom self-contained flats at 52-56 Spring Bank (status unknown) (Ref No : 96/00344/PF)
- 2013 – Installation of replacement windows to 52, 54 and 56 Spring Bank. (Permitted) Ref NO 13/01123/FULL).

Monitoring Notes

The building appears to be structurally stable from the Spring Bank frontage with no immediate cause for concern, although the building has suffered from a lack of general maintenance. Any works to remove the existing stonework lintels and cills should not be permitted.

Recommended Actions

The recent modifications to No 52 have been detrimental to the character of the Conservation Area. No 56 would benefit from a collective restoration along with the adjacent No 52, 54, 58 and 60 Spring Bank as a group.

The following works are recommended to restore the historic character :-

- Removal of the concrete steps and low quality handrail and the replacement with stone steps and replacement with more sympathetic Georgian railings along with a higher quality landscape treatment.
The reinstatement of the cornice detail to the roof level of the portico.
- Removal of the uPVC casement windows and replacement with new timber framed sash windows.
- Removal of the PVC gutter, downpipes and fascia and reinstatement of the cast iron gutter and cast iron downpipes.
- The removal/ rationalisation of the alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation.
- The removal of the cement render to the ground floor and basement level.
- The removal of the paint to the brickwork between first and first floor window cill level.

Street:	Spring Bank	Address	58 and 60 Spring Bank
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)		Current Photo – 11/05/2023 (author)	



Historic Photo 27/6/84 (Phil Hampel)



Building Notes

58 and 60 Spring Bank was built between 1856 and 1893 and were built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group of four stories in height with the adjacent No 52, 54 and 56 Spring Bank Spring Bank. The 1904 photograph shows that, at this point, the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens which would confirm that these were originally built as grand four storey residential properties (with a basement level). The external walls are of red brickwork with feature splayed stone window lintels and stone cills and vertical sliding sash windows with Georgian proportions with 6 over 6 to first floor and 3 over 3 to second floor level. The roof finish was slate with a deep timber fascia, cast iron gutters and downpipes. When built, No 58 and 60 were built as two separate residential properties.

The ground floor level is at street level, creating a lower level basement that would have been used as kitchens or servants quarters and stone steps with iron railings leading up to the main entrance door. The entrance door would have featured a decorative entrance portico with pilasters, scroll corbel detail at the head supporting the entrance portico.

In the late 1900's the building has been subject to further considerable changes. The design and proportion of the first and second floor windows would suggest that No 58 and 60 would have been originally of the same design as the adjacent No 56 with an elevated ground floor level and basement accommodation. The ground floor level was converted to a car showroom use with the ground floor to No 58 and 60 combined to create one large unit. The upper floor levels were rendered during this period. In 1995 an application was made to convert the car showroom to residential apartments and the basement ground floor level reconfigured again to create a new central entrance and to reinstate the building frontage. This work was been undertaken using smooth red brickwork and the entrance portico has attempted to replicate some of the detail of the adjacent properties, albeit unsuccessfully. The windows have been replaced with new uPVC double glazed casement windows. The slate roof finish was replaced with cement pantiles. Cast iron rainwater goods have been replaced with uPVC and the deep timber fascia's at eaves level have been replaced. The stone steps, iron railings and entrance portico were previously removed to provide a shopfront.

The building has been subject to a number of Planning applications :-

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Monitoring Notes

The building appears to be structurally stable from the Spring Bank frontage with no immediate cause for concern, although the building has suffered from a lack of general maintenance. Any works to remove the existing stonework lintels and cills to the upper floor levels should not be permitted.

Recommended Actions

The recent modifications to No 58-60 have been detrimental to the character of the Conservation Area. No 58 and 60 would benefit from a collective restoration along with the adjacent No 52, 54 and 58 Spring Bank as a group.

The reinstatement of the original design would require considerable modifications to the ground floor including the removal of the existing floor level to reinstate the elevated raised ground floor (as No 54).

However, the following works are recommended to improve the quality and overall character of building within the Conservation Area :-

- Removal of the existing railings and a cohesive boundary treatment provided across the group from No 52-60.
- Undertake works to add further detail to the entrance portico.
- Removal of the cement render to the upper floor levels.
- Removal of the uPVC casement windows and replacement with new timber framed sash windows.
- Removal of the PVC gutter, downpipes and fascia and reinstatement of the cast iron gutter and cast iron downpipes.
- The removal/ rationalisation of the alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation.
- Replace concrete pantile roof finish with slate.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 15/05/2000 (Phil Hampel)



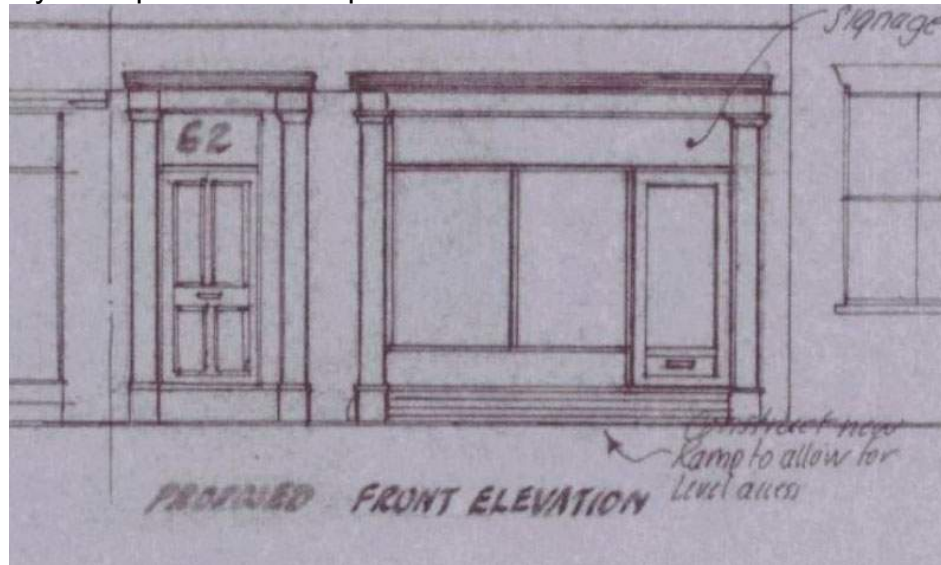
Address: 62 Spring Bank

Current Photo – 11/05/2023 (author)



Building Notes

62 Spring Bank was built between 1856 and 1893 and was built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group of buildings of three stories in height with the adjacent No 64, 66, 68, 70, 72, 74 and 76 Spring Bank. The 1904 photograph shows that, at this point, most of the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens which would confirm that these were originally built as grand three storey residential properties. The external walls are of buff brickwork with feature splayed stone window lintels and stone cills and vertical sliding sash windows with Georgian proportions with 6 over 6 sash windows to the ground and first floor and 3 over 3 to second floor level. The roof finish was slate with a deep timber fascia, cast iron gutters and downpipes (as shown in the 1904 photograph). The entrance door featured a decorative entrance portico with pilasters and columns with panelling details supporting a projecting entrance portico. In 2012 works were undertaken to convert the ground floor to flexible office use which included a new traditional style shopfront with ramped access and a brickwork stall riser.



In 2015, the shopfront was removed and the building converted to residential use throughout. This involved the removal of the shopfront and the infill of the shopfront opening to provide a new ground floor window to reflect the proportions of the window above and adjacent to No 64. The infill was finished in render to the ground floor level. The windows were also replaced at this time with Georgian style UPVC sliding sash windows. The proportions to these replacement windows (12 over 12 and 8 over 8) are at odds with the original 6 over 6 / 3 over 3 Georgian design as shown on the 1904 photograph. The slate roof finish has been replaced with concrete pantile roof finish and the cast iron gutters and downpipes removed and replaced with PVC. The deep

	<p>fascia and eaves soffit detail has been removed. The projecting portico and columns were removed to the residential entrance leaving just the pilasters in situ with a new fascia installed to the entrance door. The building has been subject to a number of Planning applications :-</p> <ul style="list-style-type: none"> • 1999 – Application for the retention of roller shutter over window and door in front elevation. • 2012 – Change of use of ground floor to flexible use of A1 (retail) or A2 (financial and professional) at front and 1 self-contained flat at rear and upper floors to 3 self-contained flats, external alterations including new entrance canopy to front and installation of new shop front and new windows to the front and rear, erection of first floor extension to the rear. • 2015 – Change of use from dental surgery with living accommodation to provide 4 self contained flats, erection of single storey extension to the rear, external alterations including replacement windows, new entrance door with canopy and surround and replacement gutters and fascias. (Approved). (Ref No 15/00640/FULL)
Monitoring Notes	<p>The building appears to be structurally stable from the Spring Bank frontage with no immediate cause for concern, although the building has suffered from a lack of general maintenance. Any works to remove the existing stonework lintels and cills to the upper floor levels should not be permitted.</p>
Recommended Actions	<p>The recent modifications to No 62 have been detrimental to the character of the Conservation Area. No 62 would benefit from a collective restoration along with the adjacent No 64, 66, 68, 70, 72, 74 and 76 Spring Bank as a group.</p> <p>The following works are recommended to improve the quality and overall character of building within the Conservation Area :-</p> <ul style="list-style-type: none"> • Removal of the existing low brick wall and timber fence and a cohesive boundary treatment and landscape treatment provided across the group from No 62-76. • Undertake works to reinstate the projecting entrance portico and supporting columns. • Removal of the cement render to the ground floor level and reinstate brickwork frontage. • Removal of the uPVC windows and replacement with new timber framed sash windows with 6 over 6/ 3 over 3 proportions. • Removal of the PVC gutter, downpipes and fascia and reinstatement of the cast iron gutter and cast iron downpipes and reinstatement of the deep timber fascia and overhang at eaves level with timber gutter support brackets with a consistent detail across all buildings in the group to match No 74-76 which has retained the original detail). • The removal/ rationalisation of the alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation. • Replace concrete pantile roof finish with slate.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 15/05/2000 (Phil Hampel)



Address: 64 Spring Bank

Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>64 Spring Bank was built between 1856 and 1893 and was built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group of buildings of three stories in height with the adjacent No 62, 66, 68, 70, 72, 74 and 76 Spring Bank. The 1904 photograph shows that, at this point, most of the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens, including No 64 which would confirm that these were originally built as grand three storey residential properties. The external walls are of buff brickwork with feature splayed stone window lintels and stone cills and vertical sliding sash windows with Georgian proportions with 6 over 6 sash windows to the ground and first floor and 3 over 3 to second floor level. The roof finish was slate with a deep timber fascia, cast iron gutters and downpipes (as shown in the 1904 photograph). The entrance door featured a decorative entrance with pilasters and columns with panelling details supporting a projecting entrance portico.</p> <p>In 1986 works were undertaken to convert the building from a single residential dwelling to a ground floor office use with 3 apartments to the upper level. The cast iron gutters and downpipes were removed and replaced with PVC. The deep fascia and eaves soffit detail was removed. The projecting portico and columns were removed to the residential entrance and an asymmetric timber cladding detail installed in place of the portico with the fanlight also infilled with horizontal timber cladding. This detail in particular is considered unsatisfactory and does not compliment that character of the building.</p> <p>The building has been subject to a number of Planning applications :-</p> <ul style="list-style-type: none"> • 1986 – Change of use from single family dwelling to ground floor office and three self-contained flats • 2009 – Installation of two replacement uPVC windows to the front (south) elevation
<p>Monitoring Notes</p>	<p>The building appears to be structurally stable from the Spring Bank frontage with no immediate cause for concern, albeit there is historic signs of structural movement evident in the window lintels at second floor which are not level. Any works to remove the existing stonework lintels and cills to the upper floor levels should not be permitted.</p>
<p>Recommended Actions</p>	<p>The recent modifications to No 64 have been detrimental to the character of the Conservation Area. No 64 would benefit from a collective restoration along with the adjacent No 62, 66, 68, 70, 72, 74 and 76 Spring Bank as a group.</p> <p>The following works are recommended to improve the quality and overall character of building within the Conservation Area :-</p> <ul style="list-style-type: none"> • Removal of the concrete slab car parking space and reinstatement of the low level brickwork wall with iron railings to create cohesive boundary treatment and landscape treatment provided across the group from No 62-76.

- Remove the vertical and horizontal timber cladding to the entrance portico and undertake works to reinstate the projecting entrance portico and supporting columns.
- Removal of the uPVC windows and replacement with new timber framed sash windows with 6 over 6 / 3 over 3 proportions.
- Removal of the PVC gutter, downpipes and fascia and reinstatement of the cast iron gutter and cast iron downpipes and reinstatement of the deep timber fascia and overhang at eaves level with timber gutter support brackets with a consistent detail across all buildings in the group to match No 74-76 which has retained the original detail).
- The removal/ rationalisation of the alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 15/05/2000 (Phil Hampel)



Address: 66 Spring Bank

Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>66 Spring Bank was built between 1856 and 1893 and was built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group of buildings of three stories in height with the adjacent No 62, 64, 68, 70, 72, 74 and 76 Spring Bank. The 1904 photograph shows that, at this point, most of the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens, including No 66, which would confirm that these were originally built as grand three storey residential properties. The external walls are of buff brickwork with feature splayed stone window lintels and stone cills and vertical sliding sash windows with Georgian proportions with 6 over 6 sash windows to the ground and first floor and 3 over 3 to second floor level. The roof finish was slate with a deep timber fascia, cast iron gutters and downpipes (as shown in the 1904 photograph). The entrance door featured a decorative entrance with pilasters and columns with panelling details supporting a projecting entrance portico.</p> <p>In the late 1900's works have been undertaken to convert the building from a single residential property into three apartments. The works have involved replacement of all windows with uPVC casement windows. The cast iron gutters and downpipes were removed and replaced with PVC. The deep fascia and eaves soffit detail was removed. The projecting portico and columns have been retained to No 66 which is in reasonable condition and can be used as a template for the reinstatement of porticos to other buildings in the group. The boundary treatment comprises of a low level brick wall with cement render (partially damaged) and a loose grey gravel finish to the garden.</p> <p>There are no planning records related to this property.</p>
<p>Monitoring Notes</p>	<p>The building appears to be structurally stable from the Spring Bank frontage with no immediate cause for concern. Any works to remove the existing stonework lintels and cills to the upper floor levels or to remove the retained portico, columns and pillasters should not be permitted.</p>
<p>Recommended Actions</p>	<p>The recent modifications to No 66 have been detrimental to the character of the Conservation Area. No 66 would benefit from a collective restoration along with the adjacent No 62, 64, 68, 70, 72, 74 and 76 Spring Bank as a group.</p> <p>The following works are recommended to improve the quality and overall character of building within the Conservation Area :-</p> <ul style="list-style-type: none"> • Removal of the loose grey gravel finish to the garden, removal of the cement render and repair of the low level brickwork wall with iron railings to create cohesive boundary treatment and landscape treatment provided across the group from No 62-76. • Repair the retained entrance portico, pilasters and columns.

- Removal of the uPVC windows and replacement with new timber framed sash windows with 6 over 6 / 3 over 3 proportions.
- Removal of the PVC gutter, downpipes and fascia and reinstatement of the cast iron gutter and cast iron downpipes and reinstatement of the deep timber fascia and overhang at eaves level with timber gutter support brackets with a consistent detail across all buildings in the group to match No 74-76 which has retained the original detail).
- The removal/ rationalisation of the alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 15/05/2000 (Phil Hampel)



Address: 68 Spring Bank

Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>68 Spring Bank was built between 1856 and 1893 and was built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group of buildings of three stories in height with the adjacent No 62, 64, 66, 70, 72, 74 and 76 Spring Bank. The 1904 photograph shows that, at this point, most of the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens, including No 68, which would confirm that these were originally built as grand three storey residential properties. The external walls are of buff brickwork with feature splayed stone window lintels and stone cills and vertical sliding sash windows with Georgian proportions with 6 over 6 sash windows to the ground and first floor and 3 over 3 to second floor level. The roof finish was slate with a deep timber fascia, cast iron gutters and downpipes (as shown in the 1904 photograph). The entrance door featured a decorative entrance with pilasters and columns with panelling details supporting a projecting entrance portico.</p> <p>No 68 continued to be used as a single resident until 2005 when it was converted to 3 apartments. The works have involved replacement of all windows with uPVC casement windows. The cast iron gutters and downpipes were removed and replaced with PVC. The deep fascia and eaves soffit detail and timber gutter supports were removed. The projecting portico and columns have been retained to No 68 which is in reasonable condition but requires some repairs to the LHS column and to the eaves level where mould growth is evident. The boundary treatment has been removed and the front garden is finished in buff loose gravel.</p> <p>The building has been subject to a number of Planning applications :-</p> <ul style="list-style-type: none"> • 2005 – Change of use from single dwelling house to 3 No self contained flats and erection fo two storey extension. • 2007 – Change of use from 3 flats to 5 flats, installation of window at ground floor on the rear elevation of projection, removal of door and window on side elevation of projection • 2007 – Enforcement notice for installation of uPVC windows without permission
<p>Monitoring Notes</p>	<p>The building appears to be structurally stable from the Spring Bank frontage with no immediate cause for concern with the exception of the roof to the portico which appears to be dropping towards the front face which requires repairs. Any works to remove the existing stonework lintels and cills to the upper floor levels or to remove the retained portico, columns and pillasters should not be permitted.</p>
<p>Recommended Actions</p>	<p>The recent modifications to No 68 have been detrimental to the character of the Conservation Area. No 68 would benefit from a collective restoration along with the adjacent No 62, 64, 66, 70, 72, 74 and 76 Spring Bank as a group.</p> <p>The following works are recommended to improve the quality and overall character of building within the Conservation Area :-</p>

- Removal of the loose buff gravel finish to the garden, reinstatement of the low level brickwork wall with iron railings to create cohesive boundary treatment and landscape treatment provided across the group from No 62-76.
- Repair the retained entrance portico, pilasters and columns.
- Removal of the uPVC windows and replacement with new timber framed sash windows with 6 over 6 / 3 over 3 proportions.
- Removal of the PVC gutter, downpipes and fascia and reinstatement of the cast iron gutter and cast iron downpipes and reinstatement of the deep timber fascia and overhang at eaves level with timber gutter support brackets with a consistent detail across all buildings in the group to match No 74-76 which has retained the original detail).
- The removal/ rationalisation of the alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 04/10/1994 (Phil Hampel)



Address: 70 Spring Bank

Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>70 Spring Bank was built between 1856 and 1893 and was built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group of buildings of three stories in height with the adjacent No 62, 64, 66, 68, 72, 74 and 76 Spring Bank. The 1904 photograph shows that, at this point, most of the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens, including No 70, which would confirm that these were originally built as grand three storey residential properties. No 70 is positioned behind the tram in this 1904 photograph but the boundary fence and hedge would suggest that it was still in residential use at this time. The external walls are of buff brickwork with feature splayed stone window lintels and stone cills and vertical sliding sash windows with Georgian proportions with 6 over 6 sash windows to the ground and first floor and 3 over 3 to second floor level. The roof finish was slate with a deep timber fascia, cast iron gutters and downpipes (as shown in the 1904 photograph). The entrance door featured a decorative entrance with pilasters and columns with panelling details supporting a projecting entrance portico.</p> <p>No 70 continued to be used as a single resident until the early 1900's when the Victorian shopfront was added with the distinctive decorative double bracket eaves details was added to convert the ground floor to retail/office use. This shopfront design is similar in detail to No 78 Spring Bank which would suggest that these were built at a similar period.</p> <p>More recent works have involved replacement of all windows with uPVC casement windows. The cast iron gutters and downpipes were removed and replaced with PVC. The deep fascia and eaves soffit detail and timber gutter supports were removed. The projecting portico and columns have been retained along with the later timber shopfront with it double scroll eaves brackets. The boundary treatment has been removed to the frontage and the front garden is finished in concrete to provide car parking spaces.</p> <p>The building has been subject to a number of Planning applications :-</p> <ul style="list-style-type: none"> • 1989 – Application to form vehicle crossover (Ref No : 89/00783/PF) • 1991 – Erection of rear single storey extension for storage purposes (Ref No : 91/00638/PF) • 1993 – Erection of single storey extension to the rear and provision of two parking spaces (Ref No : 93/00612/PF)
<p>Monitoring Notes</p>	<p>The building appears to be structurally stable from the Spring Bank frontage with no immediate cause for concern. Any works to remove the existing ground floor shopfront, stonework lintels and cills to the upper floor levels or to remove the retained portico, columns and pilasters should not be permitted.</p>
<p>Recommended Actions</p>	<p>The recent modifications to No 70 have been detrimental to the character of the Conservation Area. No 70 would benefit from a collective restoration along with the adjacent No 62, 64, 66, 68, 72, 74 and 76 Spring Bank as a group.</p>

The following works are recommended to improve the quality and overall character of building within the Conservation Area :-

- Removal of the concrete slab, reinstatement of the low level brickwork wall with iron railings to create cohesive boundary treatment and landscape treatment provided across the group from No 62-76.
- Repair the retained entrance portico, pilasters and columns.
- Removal of the uPVC windows and replacement with new timber framed sash windows with 6 over 6 / 3 over 3 proportions.
- Removal of the pantile roof finish and replacement with a slate roof finish.
- Removal of the PVC gutter, downpipes and fascia and reinstatement of the cast iron gutter and cast iron downpipes and reinstatement of the deep timber fascia and overhang at eaves level with timber gutter support brackets with a consistent detail across all buildings in the group to match No 74-76 which has retained the original detail).
- The removal/ rationalisation of the alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Address: 72 Spring Bank, Wheatcroft opticians

Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)



<p>Building Notes</p>	<p>72 Spring Bank was built between 1856 and 1893 and was built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group of buildings of three stories in height with the adjacent No 62, 64, 66, 68, 70, 74 and 76 Spring Bank. The 1904 photograph shows that, at this point, most of the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens, including No 72, which would confirm that these were originally built as grand three storey residential properties. No 72 is positioned behind the tram in this 1904 photograph but the entrance portico is still visible along with the boundary fence and hedge. The external walls are of buff brickwork with feature splayed stone window lintels and stone cills and vertical sliding sash windows with Georgian proportions with 6 over 6 sash windows to the ground and first floor and 3 over 3 to second floor level. The roof finish was slate with a deep timber fascia, cast iron gutters and downpipes (as shown in the 1904 photograph). The entrance door featured a decorative entrance with pilasters and columns with panelling details supporting a projecting entrance portico.</p> <p>No 72 continued to be used as a single resident until the late 1900's when the shopfront was added. This is of a more modern design than the adjacent No 70 and does not feature the double scroll eaves brackets. An application was submitted in 2001 for the installation of a new shopfront and alterations to the rear which is when the current shopfront was installed.</p> <p>More recent works have involved replacement of all windows with uPVC casement windows. The cast iron gutters and downpipes were removed and replaced with PVC. The deep fascia and eaves soffit detail and timber gutter supports were removed. The projecting portico and columns have been lost at No 72 to enable the installation of a modern shopfront in 2001. The boundary treatment has been removed to the frontage and the front garden is finished in concrete to provide car parking spaces which has since been partially excavated and patched up.</p> <p>The building has been subject to a number of Planning applications :-</p> <ul style="list-style-type: none"> • 1989 – Formation of new vehicular access (Ref No : 89/00590/PF) • 2001 – Installation of a new shopfront and alterations to rear of building including demolition and re-building of rear projection (Ref. No: 01/00374/PF)
<p>Monitoring Notes</p>	<p>The building appears to be structurally stable from the Spring Bank frontage with no immediate cause for concern. Any works to remove the existing stonework lintels and cills to the upper floor levels should not be permitted.</p>
<p>Recommended Actions</p>	<p>The recent modifications to No 72 have been detrimental to the character of the Conservation Area. No 72 would benefit from a collective restoration along with the adjacent No 62, 64, 66, 68, 72, 74 and 76 Spring Bank as a group.</p>

The following works are recommended to improve the quality and overall character of the building within the Conservation Area :-

- Removal of the concrete slab, reinstatement of the low level brickwork wall with iron railings to create cohesive boundary treatment and landscape treatment provided across the group from No 62-76.
- Removal of the uPVC windows and replacement with new timber framed sash windows with 6 over 6 / 3 over 3 proportions.
- Removal of the pantile roof finish and replacement with a slate roof finish.
- Removal of the PVC gutter, downpipes and fascia and reinstatement of the cast iron gutter and cast iron downpipes and reinstatement of the deep timber fascia and overhang at eaves level with timber gutter support brackets with a consistent detail across all buildings in the group to match No 74-76 which has retained the original detail).
- The removal/ rationalisation of the alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Address: 74-76 Spring Bank, Wheatcroft opticians

Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)



Building Notes

74-76 Spring Bank was built between 1856 and 1893 and was built after the earlier terrace of residential properties to the west dating from the 1830's. The building forms a group of buildings of three stories in height with the adjacent No 62, 64, 66, 68 and 70 Spring Bank. The 1904 photograph shows that, at this point, most of the buildings along this range on the north side of Spring Bank had low level walls with railings and hedges forming front gardens. However, No 74-76 in the foreground of the 1904 photograph was in use as a Library at this time spanning both 74 and 76 Spring Bank. The photograph shows a timber framed Victorian shopfront with awnings and elaborate details, sloping fascia, cornice and pillasters. The pavement extended into the front of the unit to provide public access to this important public building. The external walls were of buff brickwork with feature splayed stone window lintels, stone cills and vertical sliding sash windows with Georgian proportions with 6 over 6 sash windows to the ground and first floor and 3 over 3 to second floor level. The roof finish was slate with a deep timber fascia, cast iron gutters and downpipes (as shown in the 1904 photograph). The 1994 photograph shows that, by this time, the traditional Victorian timber shopfront had been removed and a modern shopfront installed. The retail unit was a Tile Warehouse at this time with car parking provided on the forecourt. By this time the upper floor windows had also been removed and replaced with metal framed windows that do not reflect the proportions of the earlier sliding sash windows. The slate roof finish had also been removed and replaced with a terracotta coloured concrete pantile roof finish. In 1995 an application was made for change of use to 8 self contained flats including alterations to the front and rear elevations along with extensions and modifications to form a car park to the rear. At this time the later shopfront was removed and the opening bricked up in matching buff bricks and new ground floor windows installed. Other works involved replacement of the upper floor metal windows with uPVC casement windows. The cast iron gutters have been retained along with the deep fascia, eaves soffit detail and timber gutter supports. A decorative entrance portico has been included in these works which reflects the proportion of the earlier porticos to the adjacent buildings, but lacks some of the details. A low brick boundary wall with low railings and a gravel finish to the gardens has been added to provide privacy to the residential units. The slate roof finish has been removed and replaced with terracotta concrete pantile roof tiles. The building has been subject to a number of Planning applications :-

- 1995 -Change of use of premises for 8 self-contained flats, alterations to front and rear elevations, laying out of rear car park following the demolition of existing rear projections (Ref No : 95/00378/PF)
- 1995 – Demolition of rear extension and demolition of bay window to the rear (Ref No : 95/00379/LD)

Monitoring Notes

The building appears to be structurally stable from the Spring Bank frontage although historical structural movement is visible in bay 2 (from the left) where the lintels have dropped. Any works to remove the existing stonework lintels and cills to the upper floor levels should not be permitted.

Recommended Actions	<p>The recent modifications to No 74-76 have been detrimental to the character of the Conservation Area. No 72 would benefit from a collective restoration along with the adjacent No 62, 64, 66, 68, 72, 74 and 76 Spring Bank as a group.</p> <p>The following works are recommended to improve the quality and overall character of the building within the Conservation Area :-</p> <ul style="list-style-type: none"> • Removal of the existing gravel finish, low boundary wall and railings and the reinstatement of the low level brickwork wall with iron railings to create cohesive boundary treatment and landscape treatment provided across the group from No 62-76. • Removal of the uPVC windows and replacement with new timber framed sash windows with 6 over 6 / 3 over 3 proportions. • Removal of the pantile roof finish and replacement with a slate roof finish. • Repair the existing retained cast iron downpipes, timber fascia, eaves level detail and timber gutter support brackets • The removal/ rationalisation of the alarm boxes, brackets, electrical routes to remove visual clutter from the Spring Bank elevation.
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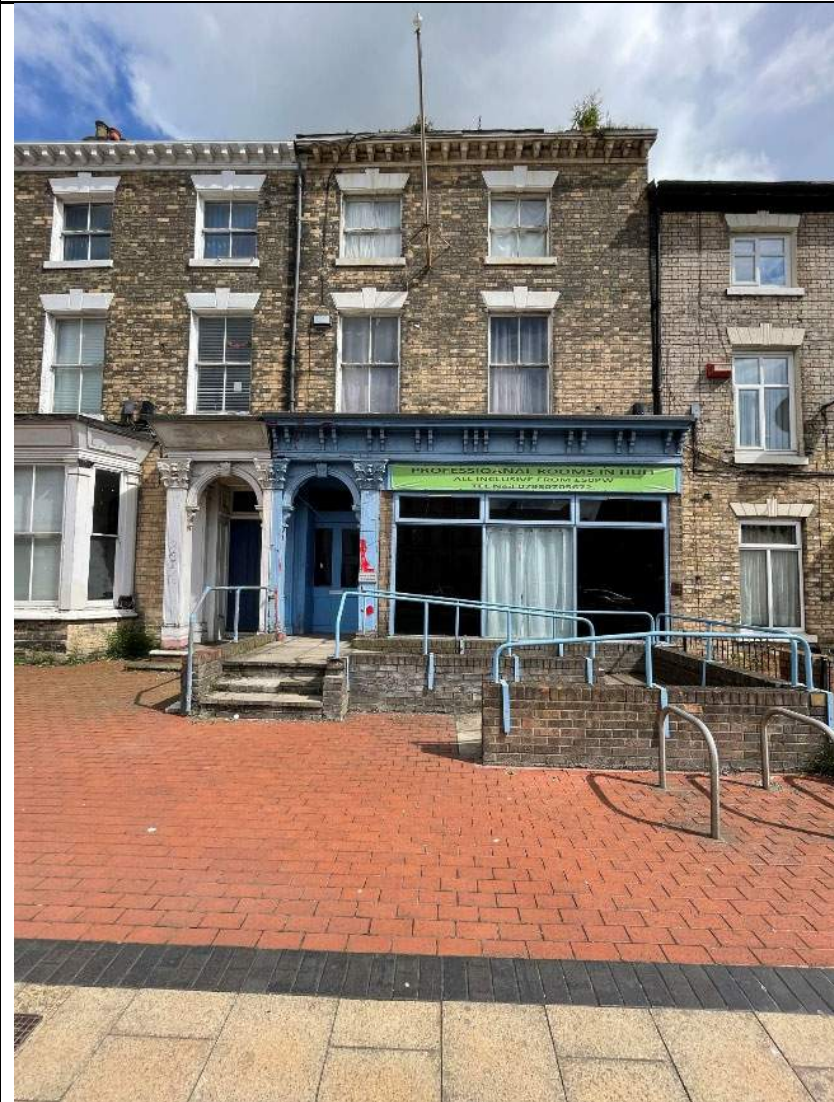
Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Address: 78 Spring Bank

Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)



Building Notes

78 Spring Bank was built between 1856 and 1893 and forms part of a three storey group including 80 and 82 Spring Bank. The 1904 photograph shows No 78 to the far left of the photo which has a projecting bay window with a low stone plinth and a iron railing forming a front garden to a residential property. The building was built of buff brickwork with splayed stonework window lintels and stone cills to upper floor levels, stonework bay window at ground floor level. All buildings within the group featured a highly decorative Corinthian pilaster, decorative arched entranceway to a decorative entrance portico. The eaves level featured deep timber gutters with highly decorative timber supports and cast iron downpipes. Upper floor windows were 2 over 2 timber sliding sash windows.

In the early-mid 1900's the ground floor level bay window had been removed and a new decorative shopfront was installed to convert the ground floor to retail use. The highly decorative entrance portico was retained with its Corinthian pilasters and extended across to the full width of the property. A decorative double scroll bracket detail was installed at the eaves level which is similar in detail to No 70 Spring Bank, albeit deeper and more detailed than No 70.

In 1987 a Change of use application was made to convert the building to office use.

The 1994 photograph shows that the building had retained many of the original features by this time, although the shopfront had been replaced by a more modern design with high level opening lights. At this time, the ground floor level was still in use as offices for the Youth Action Centre.

Between 1994 – 2023, a comprehensive relandscaping of the forecourt in front of 78, 80, 82 and 84 Spring Bank was undertaken to create a cohesive landscape treatment across the group by Hull City Council as part of a wider landscape scheme, with terracotta pavements installed to define the site boundary of the property following the removal of the front gardens as a result of the change of use. A new ramp was also installed to 78 to provide wheelchair access to the elevated ground floor level. The slate roof finish was also removed and replaced with concrete pantile roof tiles.

Today in 2023, the building has retained many of these earlier features, including the original timber sash windows, decorative Corinthian pilasters and the Victorian shopfront.

The building has been subject to a number of Planning applications :-

- 1987 – Application for Change of use to offices and the installation of two rear roof lights (Ref No : 87/01426/PF)
- 2019 – Application for Change of use to two dwellings (1 at ground floor, 1 at first and second floor) (This application was refused and withdrawn due to Flood Risk and the increased risk due to the change of use to residential. (Ref No : 19/01372/PCOU)
- 2020 – Application for Change of Use from offices to residential including 8 self contained flats (Ref No : 20/00147/PCOU).

Monitoring Notes	The building appears to be structurally stable from the Spring Bank frontage and has retained many of the Georgian and Victorian features installed between 1830 and early 1900's. Any works to remove the existing timber shopfront surround, original timber sash windows, Corinthian columns, portico, decorative timber eaves support brackets, stonework lintels and cills to the upper floor levels should not be permitted.
Recommended Actions	<p>No 78 would benefit from a collective restoration along with the adjacent 80 and 82 Spring Bank as a group.</p> <p>Although the building has retained many of its earlier Georgian and Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the intrusive access ramp and the installation of a more discrete ramped access solution • Re-decoration throughout. • Repair and restoration of the existing timber sliding sash windows. • A more appropriate treatment to the shopfront glass that provides additional privacy to the ground floor residential unit whilst respecting the character of the building. • Removal of vegetation growth within the gutters. • Repair and restoration of the existing cast iron rainwater goods and decorative timber support brackets. • Removal of the concrete pantile roof and replacement with a new slate roof.

Street: Spring Bank

Historic Photo 04/10/1994 (Phil Hampel)



Historic Photo 16/05/2000 (Phil Hampel)



Address: 80 Spring Bank

Current Photo - 11/05/2023 (author)



Building Notes	<p>80 Spring Bank was built between 1856 and 1893 and forms part of a three storey group including 78 and 82 Spring Bank. The group was originally built for residential use with projecting bay windows to the ground floor level and a low stone plinth and an iron boundary fence to create gardens to the residential properties. The building was built of buff brickwork with splayed stonework window lintels and stone cills to upper floor levels. All buildings within the group featured a highly decorative Corinthian pilaster, decorative arched entranceway to a decorative entrance portico. The eaves level featured deep timber gutters with highly decorative timber supports and cast iron downpipes. Upper floor windows were 2 over 2 timber sliding sash windows. The 1994 photograph shows that the building had retained many of the original features by this time, including the Corinthian columns, timber sash windows, arched portico entrance and decorative eaves details. In the late 1900's the building was converted from residential to office use. A later application in 2003 enabled the change of use to advice centre. The roof finish was also changed from a slate roof finish to concrete pantile roof tiles.</p> <p>Between 1994 – 2023, a comprehensive relandscaping of the forecourt in front of 78, 80, 82 and 84 Spring Bank was undertaken to create a cohesive landscape treatment across the group by Hull City Council as part of a wider landscape scheme, with terracotta pavements installed to define the site boundary of the property following the removal of the front gardens as a result of the change of use.</p> <p>Today in 2023, the building has retained many of these earlier features, including the original timber sash windows, stone cills and splayed lintels to the upper floor levels and the decorative Corinthian pilasters and arched entrance portico.</p> <p>The building has been subject to a number of Planning applications :-</p> <ul style="list-style-type: none"> • 1991 – Application for construction of new vehicular crossover to forecourt (80-82 Spring Bank) (Ref No : 91/00434/PF). • 2003 – Application for Change of use from offices (B1) to advice centre (D1) for 80-82 Spring Bank. (Ref No : 03/01606/COU. (Permitted).
Monitoring Notes	<p>The building appears to be structurally stable from the Spring Bank frontage and has retained many of the original Georgian features. Any works to remove the original bay windows, timber sash windows, Corinthian columns, portico, decorative timber eaves support brackets, stonework lintels and cills to the upper floor levels should not be permitted. Staining behind the downpipes would suggest that the downpipes need replacing/repairing.</p>
Recommended Actions	<p>No 80 would benefit from a collective restoration along with the adjacent 78 and 82 Spring Bank as a group.</p>

Although the building has retained many of its earlier Georgian features, it would benefit from the following works :-

- Re-decoration throughout.
- Repair and restoration of the existing timber sliding sash windows.
- Removal of the angled plywood fascia to the bay window and entrance portico that is concealing the decorative stone/timber eaves supports behind.
- Repair the base of the timber to the projecting bay windows where damaged.
- Removal of vegetation growth within the gutters.
- Repair and restoration of the existing cast iron rainwater goods and decorative timber support brackets, particularly to downpipes which appear to be damaged/leaking onto the brickwork behind.
- Removal of the concrete pantile roof and replacement with a new slate roof.

Street: Spring Bank

Historic Photo 04/10/1994 (Phil Hampel)



Historic Photo 16/05/2000 (Phil Hampel)



Address: 82 Spring Bank

Current Photo - 11/05/2023 (author)



<p>Building Notes</p>	<p>82 Spring Bank was built between 1856 and 1893 and forms part of a three storey group including 78 and 80 Spring Bank. The group was originally built for residential use with projecting bay windows to the ground floor level and a low stone plinth and an iron boundary fence to create gardens to the residential properties. The building was built of buff brickwork with splayed stonework window lintels and stone cills to upper floor levels. All buildings within the group featured a highly decorative Corinthian pilaster, decorative arched entranceway to a decorative entrance portico. The eaves level featured deep timber gutters with highly decorative timber supports and cast iron downpipes. Upper floor windows were 2 over 2 timber sliding sash windows. The 1994 photograph shows that the building had retained many of the original features by this time, including the Corinthian columns, timber sash windows, arched portico entrance and decorative eaves details. In the late 1900's the building was converted from residential to office use. A later application in 2003 enabled the change of use to advice centre. The roof finish was also changed from a slate roof finish to concrete pantile roof tiles. The upper floor timber sash windows were replaced with uPVC casement windows. Between 1994 – 2023, a comprehensive relandscaping of the forecourt in front of 78, 80, 82 and 84 Spring Bank was undertaken to create a cohesive landscape treatment across the group by Hull City Council as part of a wider landscape scheme, with terracotta pavements installed to define the site boundary of the property following the removal of the front gardens as a result of the change of use. Today in 2023, the building has retained many of these earlier features, including stone cills and splayed lintels to the upper floor levels and the decorative Corinthian pilasters and arched entrance portico. The building has been subject to a number of Planning applications :-</p> <ul style="list-style-type: none"> • 1991 – Application for construction of new vehicular crossover to forecourt (80-82 Spring Bank) (Ref No : 91/00434/PF). • 2003 – Application for Change of use from offices (B1) to advice centre (D1) for 80-82 Spring Bank. (Ref No : 03/01606/COU. (Permitted).
<p>Monitoring Notes</p>	<p>The building appears to be structurally stable from the Spring Bank frontage and has retained many of the original Georgian features. Any works to remove the original bay window, Corinthian columns, portico, decorative timber eaves support brackets, stonework lintels and cills to the upper floor levels should not be permitted. Staining behind the downpipes would suggest that the downpipes need replacing/repairing.</p>
<p>Recommended Actions</p>	<p>No 82 would benefit from a collective restoration along with the adjacent 78 and 80 Spring Bank as a group. Although the building has retained many of its earlier Georgian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Re-decoration throughout.

- Replacement of the UPVC casement windows with timber sash windows in proportions that reflect the original design (2 over 2).
- Removal of the angled plywood fascia to the bay window and entrance portico that is concealing the decorative stone/timber eaves supports behind.
- Repair the base of the timber to the projecting bay windows where damaged.
- Removal of vegetation growth within the gutters.
- Repair and restoration of the existing cast iron rainwater goods and decorative timber support brackets, particularly to downpipes which appear to be damaged/leaking onto the brickwork behind.
- Removal of the concrete pantile roof and replacement with a new slate roof.

Street: Spring Bank / Walmsley Street

Historic Photo 04/10/1994 (Phil Hampel)



Address: 75 Walmsley Street

Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)



Building Notes	<p>75 Walmsley Street was a later addition building to extend the adjacent group of 78, 82 Spring Bank and was built to turn the corner of the street onto Walmsley Street, providing a positive frontage to both the Spring Bank and Walmsley Street elevations. The primary entrance to the building is off Walmsley Street and the side elevation addresses Spring Bank. This three storey building is slightly taller than the earlier adjacent group of 78, 80 and 82 Spring Bank) and has replicated some of the earlier features of the adjacent group in its design. The primary Walmsley Street elevation features a highly decorative carved timber portico with Corinthian columns and dentil course detail to the eaves. A bay window is located on the Spring Bank elevation to add a feature that respects the adjacent group. Pointed arched stone lintels to the ground and first floor windows and horizontal stone string course at floor levels distinguishes this building as a later phase of development. The building was originally built as residential or office use.</p> <p>The 1994 photograph shows that the building had retained many of the original features by this time, including the Corinthian columns, timber sash windows, decorative portico entrance and decorative eaves details. In 2003 an application was made to convert the offices to residential use as three apartments. This use has continued to 2023.</p> <p>Today in 2023, the building has retained some of these earlier features, including the original bay window, stone cills and pointed arched lintels to the upper floor levels and the decorative Corinthian pilasters and decorative entrance portico. It has however lost the original timber sash windows, now replaced by uPVC casement windows. The slate roof tiles have been replaced with concrete pantiles and the decorative timber dentil supports to the timber gutter have been removed and replaced with a PVC gutter and fascia.</p> <p>The building has been subject to the following Planning applications :-</p> <ul style="list-style-type: none"> • 2003 – Change of use from offices to 3 flats (Ref No : 03/01189/COU)
Monitoring Notes	<p>The building appears to be structurally stable from the Spring Bank and Walmsley Street frontage and has retained many of the original features. Any works to remove the original bay window, Corinthian columns, portico, stonework lintels and cills to the upper floor levels should not be permitted.</p>
Recommended Actions	<p>Although the building has retained many of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the graffiti to the Walmsley Road elevation. • Replacement of uPVC windows throughout with timber sliding sash (2 over 2). • Re-decoration throughout. • Repair and restoration of the decorative Corinthian columns, portico, timber panelling and door. • Repair and restoration of the existing timber sliding sash windows.

- Repair the base of the timber to the projecting bay windows where damaged.
- Removal of the black PVC SVP's, replacement with a more appropriate colour (off-white) in a more discrete location.
- Repair and restoration of the existing cast iron rainwater goods and decorative timber support brackets, particularly to downpipes which appear to be damaged/leaking onto the brickwork behind.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the services, electrical conduits and alarm boxes.

Street: Spring Bank / Walmsley Street

Address: 84-86 Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)

Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)



Building Notes

86 Spring Bank was built in the late 1800's between 1853 and 1893 and was originally built as residential use and forms a group of two buildings with the adjacent No 88 Spring Bank. Between 1893 and 1904 No 84 and 86 were expanded to each side. Built in buff brickwork, the building had timber sash windows (2 over 2), slate tiled roof and cast iron rainwater goods.

The 1904 photograph illustrates that No 86 (and the adjacent 88 and 90) originally had projecting bay windows and generous front gardens defined by low stone plinthes and iron railings. This would confirm that these were originally built as grand three storey residential dwellings. No 86 however, was built as a retail unit with the entrance to the retail unit off the Spring Bank frontage and the entrance to the residential above off the Walmesley Street frontage. The 1904 photograph shows a projecting awning over the shopfront with part of the frontage enclosed by a stone plinth and iron railing detail. This also shows the highly decorative shopfront and corbel details with cast iron spear heads on top of the corbels.

The 1994 photograph shows that, by this time, the shopfront had been substantially adapted/replaced when it was in use by Cliff Pratts Cycle shop. The highly decorative corbel details have been replaced/adapted to create a much heavier fascia with deep corbel details, the cast iron railings have been removed and the shop entrance relocated to the corner. The timber sash windows are still in-situ to the upper floor levels along with the cast iron rainwater goods.

In 2023 the shopfront has been further adapted with the large corbels removed and a more simple fascia installed. There is evidence of remnants of the earlier shopfront cornice and there may be some evidence of the earlier shopfront fascia behind the existing large signage zone. Two of the original corbel details may have been retained in part to the Walmesley Street frontage. Security grills have been added externally. The side elevation to Walmesley Street has been partially painted and has graffiti at ground floor level. A two storey block work extension has been built to the rear of the property which is partially completed with exposed blockwork and uPVC windows which is considered inappropriate within the Conservation Area and does not have Planning permission. The upper floor timber sliding sash windows have been retained, however, these have been covered externally with plywood and painted which looks unsightly and diminishes the quality of the building. The cast iron rainwater goods have been retained but the slate roof has been replaced with a pantile roof finish.

The building has been subject to the following Planning applications :-

- 1992– Installation of new shopfront with roller shutters (Ref No : 92/00636/PF)

Monitoring Notes

The building appears to be structurally stable and has retained many of the original features. Any works to remove the original timber sash windows, stonework lintels and cills to the upper floor levels and any historical remnants of the earlier shopfront should not be permitted.

**Recommended
Actions**

As part of a group of buildings along with No 88 and 90 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.

Although the building has retained many of its earlier Victorian features, it would benefit from the following works :-

- Reinstatement of the original shopfront.
- Reinstatement of the high quality timber entrance doors to the residential units above to both the Spring Bank and Walmsley Street frontage.
- Removal of the paint and graffiti to the Walmsley Road elevation.
- Removal or works to improve the appearance of the rear extension (including obtaining consent).
- Restoration of existing timber sliding sash windows.
- Re-decoration throughout.
- Repair the base of the timber to the projecting bay windows where damaged.
- Repair and restoration of the existing cast iron rainwater goods.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the services, electrical conduits and alarm boxes.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Address 88-90 Spring Bank

Historic Photo 04/10/1994 (Phil Hampel)



Historic Photo - circa 1970's (Phil Hampel)



Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>88 Spring Bank was built in the late 1800's between 1853 and 1893 and was originally built as residential use and forms a group of two buildings with the adjacent No 86 Spring Bank. Between 1893 and 1904 No 84 and 86 were expanded to each side, adding No 90 Spring Bank. Built in buff brickwork, the building had timber sash windows (2 over 2), slate tiled roof and cast iron rainwater goods.</p> <p>The 1904 photograph illustrates that No 88 and 90 (and the adjacent No 86) originally had projecting bay windows and generous front gardens defined by low stone plinths and iron railings. This would confirm that these were originally built as grand three storey residential dwellings.</p> <p>The photograph from circa 1970's shows the projecting bay window still in situ to No 90 with a low brick wall defining the front garden to the former residential property which had been converted to office use by this time. No 88 had also been converted to office use and had lost the projecting bay window which was replaced by a larger shopfront square bay window with a large signage fascia. Cast iron decorative railings to the edge of the single storey entrance lobby to the upper floor residential apartments can also be seen.</p> <p>The 1994 photograph shows that between the 1970s and late 1990's the remaining bay window to No 90 has been removed and replaced with a new shopfront. The windows to the second floor level have been removed and replaced with new timber framed casement windows with a proportion that do not respect the original design.</p> <p>More recently in 2003, the opticians in the retail unit at No 90 was extended into the adjacent No 88 to create a larger retail unit along with the installation of new signage and roller shutters. The timber sliding sash windows to No 88 were replaced with uPVC casement windows. The slate roof tiles to No 88 have been replaced with concrete pantiles.</p> <p>The building has been subject to the following Planning applications :-</p> <ul style="list-style-type: none"> • 1989 - Erection of rear single-storey flat roof extension to opticians (Ref. No: 89/00639/PF) • 2003 - Change of use of office to an optician, new shopfront, installation of roller shutters and small extension to the rear (Ref No : 03/00744/COU)
<p>Monitoring Notes</p>	<p>The building appears to be structurally stable and has retained many of the original features. Any works to remove the original stonework lintels and cills to the upper floor levels should not be permitted.</p>
<p>Recommended Actions</p>	<p>As part of a group of buildings along with No 84 and 86 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p> <p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p>

- Reinstatement of the high quality timber entrance doors to the office unit above to the Spring Bank frontage
- Removal of uPVC windows and replacement with timber sliding sash windows.
- Re-decoration throughout.
- Repair and restoration of the existing cast iron rainwater goods.
- Removal of the concrete pantile roof to No 88 and replacement with a new slate roof.
- Rationalisation of the services, electrical conduits and alarm boxes.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Address: Seventh Day Church, 92

Historic photo (C mid1900's) (<https://www.genuki.org.uk>)



Historic Photo 04/10/1994 (Phil Hampel)



Current Photo – 11/05/2023 (author)



Building Notes	<p>The Jubilee Primitive Methodist Chapel was previously located on this site. This grand four storey building was opened in 1864 and formed a focal point along Spring Bank and at the junction on approach from Park Street. With an elevated ground floor level the chapel could accommodate a congregation of 1,000. Built of red and buff brick with stone dressings it was designed in the Italianate style by Joseph Wright. The Chapel was renovated in 1952 before being demolished shortly after in 1958 to make way for a more modest building for the St Stephen's Anglican Church which was opened in 1972.</p> <p>The building today has undergone limited modifications since its construction in 1972, limited to the installation of the security fence and gate across the recessed entrance porch.</p>
Monitoring Notes	<p>The building is in good condition with no signs of deterioration that put the building at risk.</p>
Recommended Actions	<p>The installation of the security fence and gate has a detrimental impact on the 1970's architectural style of the building and the character of the building would benefit from their removal.</p> <p>The grounds to the Church provide the opportunity to introduce much needed green space to Spring Bank. The existing grassed landscape would benefit from the planting of trees along the site boundary which would contribute positively to the character of the Conservation Area.</p>

Street: Spring Bank

Historic Photo – circa 1904 (www.hulldailymail.co.uk)



Historic Photo 04/10/1994 (Phil Hampel)



Address: The One, 94

Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>94 Spring Bank forms part of a group of four buildings including 96, 98 and 100 Spring Bank and comprise of 2 storey brick faced buildings with decorative gable dormers to the roofspace accommodation. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 94 was built as retail use on the ground floor with residential/retail back of house above. The late Victorian building has various decorative features including contrasting grey brickwork, stone key stones and timber gutter supports at eaves level. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph shows that the original shopfront has a low level stone stallriser and a centrally located recessed entrance door to the retail unit, a shallow fascia and individual letter signage on top of the fascia/cornice.</p> <p>The 1994 photograph shows that, by this time, the original shopfront had been removed and replaced with a modern timber shopfront including new pilasters, corbel details and the cornice level lifted to accommodate a larger signage fascia to the central section. A side entrance door to the first and second floor accommodation was introduced at this time. The timber sliding sash windows have been retained along with the cast iron gutters and rainwater goods.</p> <p>Today in 2023, the shopfront has been replaced again with a modern metal framed shopfront with a central door to the retail unit and the side door to the upper levels omitted. The fascia with the raised central section installed in the late 1900's has been retained and redecorated.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> ▪ 2015- Installation of ATM to shop front (retrospective application) (Ref. No: 15/01316/FULL) Status: Application Refused
<p>Monitoring Notes</p>	<p>The building is in relatively good condition with limited signs of deterioration that put the building at risk. Any works that involve damage/loss of the decorative stone lintels, cills and decorative brickwork should not be permitted. There is a diagonal crack to the LHS of the building at first floor level from the lintel down toward the party wall line with the adjacent unit that would suggest structural movement and the building is leaning towards Freehold Street. Further investigation by a Structural Engineer is advised. The gutter has extensive debris and fungal growth to the front elevation which needs removing and clearing as soon as possible. This may be contributing to the structural cracking which needs to be addressed. The stone lintel to the first floor LHS window is showing signs of spauling, likely caused by the overflow from the blocked gutters.</p>
<p>Recommended Actions</p>	<p>As part of a group of four buildings along with No 96, 98, 100/102 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p>

Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-

- Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels and fascia still in-situ at 96 Spring Bank.
- Reinstatement of awning and blind box within shopfront design as shown on 1904 photograph.
- Removal of uPVC windows and replacement with timber sliding sash windows.
- Re-decoration throughout.
- Review of the structural cracking by a Structural Engineer and undertake structural repairs to prevent further movement (eg Helibar ties to secure from future movement).
- Remove debris and fungal growth from gutters and remove PVC gutters and downpipes.
- Reinstatement of decorative timber gutter support brackets (as No 96).
- Repair and restoration of the existing cast iron rainwater goods.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the services, electrical conduits and alarm boxes.
- Remove fungal growth to rear chimney along Freehold Street frontage and review/repair lead flashing and investigate source of water build-up at interface with roof finish.
- Potentially reveal the original painted sign to the Freehold Street elevation (as shown on the 1904 photo on 98 Spring Bank below).

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 19/8/85 (Phil Hampel)



Address: Mini Market, 96

Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>96 Spring Bank forms part of a group of four buildings including 94, 98 and 100 Spring Bank and comprise of 2 storey brick faced buildings with decorative gable dormers to the roofspace accommodation. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 96 was built as retail use on the ground floor with residential/retail back of house above. The late Victorian building has various decorative features including contrasting grey brickwork, stone key stones and timber gutter supports at eaves level. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph of No 94 shows that the original shopfront has a low level stone stallriser and a centrally located recessed entrance door to the retail unit, a shallow fascia and individual letter signage on top of the fascia/cornice. It is likely that No 96 would have had a similar arrangement.</p> <p>The 1994 photograph shows that, by this time, the original shopfront had been removed and replaced with a modern timber shopfront with a higher level brickwork stall riser. The original Corinthian style head to the pilasters, corbel details with semi-circle head and rosette detail and the cornice have, however been retained, albeit the details have been cut vertically on the boundary wall line. A side entrance door to the first and second floor accommodation was introduced after this time. The timber sliding sash windows have also been retained. The cast iron gutters have been retained along with the timber gutter support brackets (albeit some are missing) but the downpipes have been replaced with PVC downpipes.</p> <p>Today in 2023, the shopfront has been replaced again with a modern timber framed shopfront with a central door to the retail unit and the side door to the RHS providing access to the upper levels omitted.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> ▪ 1998 - CHANGE OF USE FROM OPTICIANS TO DWELLINGHOUSE 2. ALTERATIONS TO FRONTAGE (Ref No: 98/00404/PF)
<p>Monitoring Notes</p>	<p>The building is in relatively good condition with limited signs of deterioration that put the building at risk. Any works that involve damage/loss of the decorative stone lintels, cills, remaining corbel and pilaster detail, fascia, cornice and decorative brickwork should not be permitted. The coping stones to the LHS of the projecting gable window at roof level have deteriorated substantially and require immediate attention. The gutter has extensive debris and fungal growth to the front elevation which needs removing and clearing as soon as possible.</p>
<p>Recommended Actions</p>	<p>As part of a group of four buildings along with No 94, 98, 100/102 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p>

Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-

- Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels and fascia still in-situ. Replace doors to both retail unit and residential unit with complementary design.
- Reinststate awning and blind box within shopfront design as shown on 1904 photograph.
- Restoration of the existing timber sliding sash windows.
- Re-decoration throughout.
- Remove debris and fungal growth from gutters and remove PVC downpipes.
- Restore timber gutter supports and replace where missing.
- Repair and restoration of the existing cast iron gutters and replace downpipes with cast iron.
- Removal of the concrete pantile roof to No 88 and replacement with a new slate roof.
- Rationalisation of the services, electrical conduits and alarm boxes.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 19/8/85 (Phil Hampel)



Address: Vacant, 98

Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>98 Spring Bank forms part of a group of four buildings including 94, 96 and 100 Spring Bank and comprise of 2 storey brick faced buildings with decorative gable dormers to the roofspace accommodation. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 98 was built as retail use on the ground floor with residential/retail back of house above. The late Victorian building has various decorative features including contrasting grey brickwork, stone key stones and timber gutter supports at eaves level. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph of No 94 shows that the original shopfront has a low level stone stallriser and a centrally located recessed entrance door to the retail unit, a shallow fascia and individual letter signage on top of the fascia/cornice. It is likely that No 98 would have had a similar arrangement.</p> <p>The 1985 photograph shows that, by this time, the original shopfront had been removed and replaced with a modern timber shopfront including new pilasters, corbel details and the cornice has been cut between the two semi-circular stone details. This shopfront design featured two doors to the RHS and a brick stall riser detail. The original decorative Corinthian corbel detail appears to have survived up until this time.</p> <p>In the early 2000's the units was used as an Antiques shop and a Victorian style shopfront was installed. This replaced the Corinthian details with simplified corbel designs with applied timber trim to add further detail. The timber sliding sash windows were still retained along with the cast iron gutters, timber gutter support brackets and rainwater goods. This shopfront is still in-situ today. The upper floor windows have since been replaced with new uPVC windows.</p> <p>The building has not been subject to any Planning Application submissions, despite having various alterations undertaken including shopfront replacement and window replacement with uPVC to the upper floor levels.</p>
<p>Monitoring Notes</p>	<p>The building is in relatively good condition with limited signs of deterioration that put the building at risk. Any works that involve damage/loss of the decorative stone lintels, cills, retained stone corbel details and decorative brickwork should not be permitted.</p>
<p>Recommended Actions</p>	<p>As part of a group of four buildings along with No 94, 96 and 100/102 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p> <p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels and fascia still in-situ at 96 Spring Bank. • Reinststate awning and blind box within shopfront design as shown on 1904 photograph. • Removal of uPVC windows and replacement with timber sliding sash windows (as retained in No 96). • Re-decoration throughout.

- Repair and redecorate decorative timber gutter support brackets.
- Repair and restoration of the existing cast iron rainwater goods.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the services, electrical conduits and alarm boxes.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 19/8/85 (Phil Hampel)



Address: Sam's Grill, 100

Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>100 Spring Bank forms part of a group of four buildings including 94, 96 and 98 Spring Bank and comprise of 2 storey brick faced buildings with decorative gable dormers to the roofspace accommodation. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 100/102 was built as retail use on the ground floor with residential/retail back of house above. The late Victorian building has various decorative features including contrasting grey brickwork, stone key stones and timber gutter supports at eaves level. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph of No 94 shows that the original shopfront has a low level stone stallriser and a centrally located recessed entrance door to the retail unit, a shallow fascia and individual letter signage on top of the fascia/cornice. It is likely that No 100 would have had a similar arrangement.</p> <p>The 1985 photograph shows that, by this time, the original shopfront had been removed and replaced with a modern timber shopfront although the original pilasters, corbel details and the cornice were retained at this time but partially concealed behind the modern signage. This shopfront design featured a set of double doors to the RHS and a brick stall riser detail. The original decorative Corinthian corbel detail appears to have survived up until this time along with the semi-circular stone corbel top with rose detail.</p> <p>In 1988 a further application was made to remove the shopfront and replace it with a modern metal framed shopfront. The Corinthian details and all of the original shopfront (with the exception of the cornice) have been removed by this time. A side entrance door to the first and second floor accommodation was introduced at this time to the RHS with a central door to the retail unit. The timber sliding sash windows were still retained along with the cast iron gutters, timber gutter support brackets and rainwater goods. The shopfront has been replaced again since 1988 with a metal framed shopfront. The upper floor windows have since been replaced with new uPVC windows. The slate roof tiles have been removed and replaced with concrete pantile roof tiles.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> • 1988 – Use of property as ground floor shop and self-contained flat above. Installation of new shop front. Erection of single storey storeroom extension (Ref No : 88/01048/PF) • 1990 – Change of use from ground floor shop to use as a hot food takeaway (Ref No 90/00978/PF) • 1995 – Change of use from ground floor shop to use as hot food takeaway (Ref 90/00978/PF)
<p>Monitoring Notes</p>	<p>The building is in relatively good condition with limited signs of deterioration that put the building at risk. Any works that involve damage/loss of the decorative stone lintels, cills, retained stone corbel details, cornice and decorative brickwork should not be permitted.</p>
<p>Recommended Actions</p>	<p>As part of a group of four buildings along with No 94, 96 and 98 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p>

Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-

- Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels and fascia still in-situ at 96 Spring Bank.
- Reinstatement of awning and blind box within shopfront design as shown on 1904 photograph.
- Removal of uPVC windows and replacement with timber sliding sash windows (as retained in No 96).
- Re-decoration throughout.
- Reinstatement of decorative timber gutter support brackets (as No 96).
- Removal of PVC gutters and downpipes and the replacement with cast iron.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Address Lyca Mobiles and Repair shop, 102

Current Photo – 11/05/2023 (author)



Historic Photo 19/8/85 (Phil Hampel)



Historic Photo 04/10/1994 (Phil Hampel)



Image from 2008 showing the original timber corbel detail between No 110 and 112 (Source – www.google.co.uk/maps)



Building Notes

102 Spring Bank forms part of a group of six buildings including 104, 106, 108, 110 and 112 Spring Bank and comprise of 3 storey buff brick faced buildings with timber sliding sash windows to the upper floor levels. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 102 was built as retail use on the ground floor with residential/retail back of house above. The late Victorian building has various decorative features including pointed arch stone lintels an stepped brick gutter supports detail at eaves level. The original building had a slate roof finish and cast iron rainwater goods.

The 1904 photograph shows that the original shopfront had a retractable awning which was replicated across the group of six buildings.

The 1985 photograph shows, what is thought to be, the original shopfront with a low level timber panelled stall riser, a recessed door with fanlight over and vertical mullions splitting the shopfront into four and a side panel to the door recess.

	<p>By 1994 the original shopfront had been removed and a new shopfront with curved mullions and decorative stained glass fanlight windows when the shop unit was occupied by 'Glass Craft'. The shopfront was therefore used to market the skills of the glass shop within. The first floor timber sliding sash windows have been retained, although the second floor windows have been replaced with metal framed windows.</p> <p>The 2008 view of the group on google/maps between 110 and 112, shows the original timber corbel detail with the decorative timber turned details to the underside of the corbel, the semi-circular top to the corbel with carved fan details and the leadwork protecting the corbel, fascia and cornice (now removed). This detail would have originally featured on all of the shopfronts in the group.</p> <p>Today in 2023, the shopfront installed by 'Glass Craft' is still in situ although the top of the fanlights have been partially concealed by the installation of a roller shutter. The upper floor windows have been replaced with uPVC windows</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> • 1988 – Installation of new shop-front, erection of single storey rear storage extension (Ref No : 88/00514/PF)
Monitoring Notes	<p>The building is in relatively good condition with limited signs of deterioration that put the building at risk. Any works that involve damage/loss of the decorative stone lintels, cills, cornice and decorative stepped eaves brickwork should not be permitted.</p>
Recommended Actions	<p>As part of a group of six buildings along with No 104,106, 108,110 and 112 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p> <p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels and fascia using the photograph of the original corbel detail to determine the proportions of the shopfront. • Reinststate awning and blind box within shopfront design as shown on 1904 photograph. • Removal of uPVC windows and replacement with timber sliding sash windows to match historic photographs. • Re-decoration throughout. • Repair and restoration of the existing cast iron rainwater goods. • Removal of the concrete pantile roof and replacement with a new slate roof. • Rationalisation of the services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank	Address Azmar Cafe, 104
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)	Current Photo – 11/05/2023 (author)
	
Historic Photo 04/10/1994 (Phil Hampel)	Image from 2008 showing the original timber corbel detail between No 110 and 112 (Source – www.google.co.uk/maps)
 	



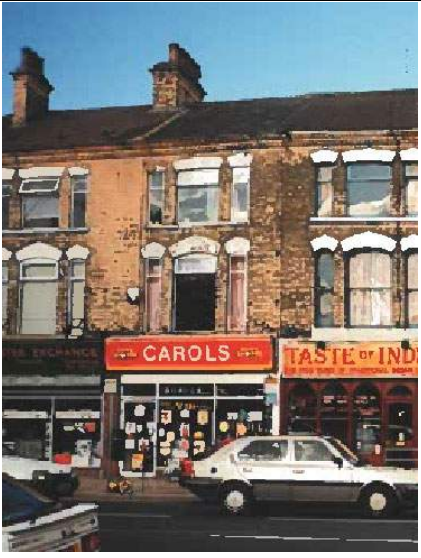


<p>Building Notes</p>	<p>104 Spring Bank forms part of a group of six buildings including 102,106, 108,110 and 112 Spring Bank and comprise of 3 storey buff brick faced buildings with timber sliding sash windows to the upper floor levels. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 104 was built as retail use on the ground floor with residential/retail back of house above. The late Victorian building has various decorative features including pointed arch stone lintels an stepped brick gutter supports detail at eaves level. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph shows that the original shopfront had a retractable awning which was replicated across the group of six buildings.</p> <p>The 1994 photograph illustrates that, by this time, the original shopfront had been removed and replaced with a low quality timber shopfront with Georgian style front doors to both the retail unit and the residential units above. The first floor timber sliding sash windows have been retained, although the second floor windows have been replaced with metal framed windows.</p> <p>The 2008 view of the group on google/maps between 110 and 112, shows the original timber corbel detail with the decorative timber turned details to the underside of the corbel, the semi-circular top to the corbel with carved fan details and the leadwork protecting the corbel, fascia and cornice (now removed). This detail would have originally featured on all of the shopfronts in the group.</p> <p>Today in 2023, the shopfront has been replaced by a new metal framed shopfront and a low quality timber door providing access to the upper floor residential. An external roller shutter door has also been installed. The upper floor windows have been replaced with uPVC windows.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> •
<p>Monitoring Notes</p>	<p>The building is in relatively good condition with limited signs of deterioration that put the building at risk. Any works that involve damage/loss of the decorative stone lintels, cills, shopfront cornice and decorative stepped eaves brickwork should not be permitted.</p>
<p>Recommended Actions</p>	<p>As part of a group of six buildings along with No 102,106, 108,110 and 112 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p> <p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels and fascia using the photograph of the original corbel detail to determine the proportions of the shopfront. • Reinstatement awning and blind box within shopfront design as shown on 1904 photograph.

- Removal of uPVC windows and replacement with timber sliding sash windows to match historic photographs.
- Re-decoration throughout.
- Repair and restoration of the existing cast iron rainwater goods.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank	Address K.D Burger, 106
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)	Current Photo – 11/05/2023 (author)
	
Historic Photo 04/10/1994 (Phil Hampel)	Image from 2008 showing the original timber corbel detail between No 110 and 112 (Source – www.google.co.uk/maps)
 	

Building Notes	<p>106 Spring Bank forms part of a group of six buildings including 102,104, 108,110 and 112 Spring Bank and comprise of 3 storey buff brick faced buildings with timber sliding sash windows to the upper floor levels. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 106 was built as retail use on the ground floor with residential/retail back of house above. The late Victorian building has various decorative features including pointed arch stone lintels an stepped brick gutter supports detail at eaves level. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph shows that the original shopfront had a retractable awning which was replicated across the group of six buildings.</p> <p>The 1994 photograph illustrates that, by this time, the original shopfront had been removed and replaced with a low quality timber shopfront with arched window heads to the restaurant unit and a low quality door to the residential units above. The first floor timber sliding sash windows have been retained, along with the second floor casement timber windows.</p> <p>The 2008 view of the group on google/maps between 110 and 112, shows the original timber corbel detail with the decorative timber turned details to the underside of the corbel, the semi-circular top to the corbel with carved fan details and the leadwork protecting the corbel, fascia and cornice (now removed). This detail would have originally featured on all of the shopfronts in the group.</p> <p>Today in 2023, the shopfront has been replaced by a new metal framed shopfront with an external roller shutter. The upper floor windows have been replaced with uPVC windows with proportions that do not reflect the original design.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> •
Monitoring Notes	<p>The building is in reasonable condition with limited signs of deterioration that put the building at risk. The building has suffered from structural movement/settlement in the past. Any works that involve damage/loss of the decorative stone lintels, cills, shopfront cornice and decorative stepped eaves brickwork should not be permitted.</p>
Recommended Actions	<p>As part of a group of six buildings along with No 102,104, 108,110 and 112 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p> <p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels and fascia using the photograph of the original corbel detail to determine the proportions of the shopfront.

- Reinststate awning and blind box within shopfront design as shown on 1904 photograph.
- Removal of uPVC windows and replacement with timber sliding sash windows to match historic photographs.
- Re-decoration throughout.
- Repair and restoration of the existing cast iron rainwater goods.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank	Address Ezee Shop, 108
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)	Current Photo – 11/05/2023 (author)
	
Historic Photo 04/10/1994 (Phil Hampel)	Image from 2008 showing the original timber corbel detail between No 110 and 112 (Source – www.google.co.uk/maps)
 	

<p>Building Notes</p>	<p>108 Spring Bank forms part of a group of six buildings including 102,104, 106,110 and 112 Spring Bank and comprise of 3 storey buff brick faced buildings with timber sliding sash windows to the upper floor levels. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 108 was built as retail use on the ground floor with residential/retail back of house above. The late Victorian building has various decorative features including pointed arch stone lintels an stepped brick gutter supports detail at eaves level. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph shows that the original shopfront had a retractable awning which was replicated across the group of six buildings.</p> <p>The 1994 photograph illustrates that, by this time, the original shopfront had been removed and replaced with a low quality metal framed shopfront. The first floor timber sliding sash windows have been retained, along with the second floor casement timber windows.</p> <p>The 2008 view of the group on google/maps between 110 and 112, shows the original timber corbel detail with the decorative timber turned details to the underside of the corbel, the semi-circular top to the corbel with carved fan details and the leadwork protecting the corbel, fascia and cornice (now removed). This detail would have originally featured on all of the shopfronts in the group.</p> <p>Today in 2023, the shopfront has been replaced by a new metal framed shopfront with an external roller shutter. The upper floor windows have been replaced with uPVC windows with proportions that do not reflect the original design.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> •
<p>Monitoring Notes</p>	<p>The building is in reasonable condition with limited signs of deterioration that put the building at risk. The building has suffered from structural movement/settlement in the past. Any works that involve damage/loss of the decorative stone lintels, cills, shopfront cornice and decorative stepped eaves brickwork should not be permitted.</p>
<p>Recommended Actions</p>	<p>As part of a group of six buildings along with No 102,104, 106,110 and 112 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p> <p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels and fascia using the photograph of the original corbel detail to determine the proportions of the shopfront. • Reinstatement awning and blind box within shopfront design as shown on 1904 photograph.

- Removal of uPVC windows and replacement with timber sliding sash windows to match historic photographs.
- Re-decoration throughout.
- Repair and restoration of the existing cast iron rainwater goods.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank	Address: Zam Zam, 110
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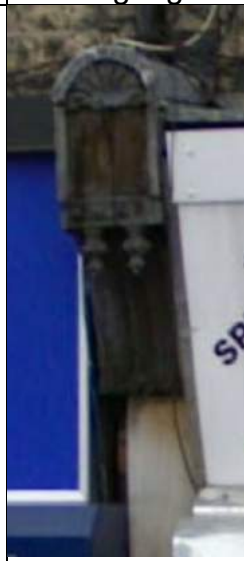
Historic Photo – 1904
(Hull Then and Now, Paul Gibson)

Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)

Image from 2008 showing the original timber corbel detail between No 110 and 112 (Source – www.google.co.uk/maps)



r6

Building Notes	<p>110 Spring Bank forms part of a group of six buildings including 102,104, 106,108 and 112 Spring Bank and comprise of 3 storey buff brick faced buildings with timber sliding sash windows to the upper floor levels. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 110 was built as retail use on the ground floor with residential/retail back of house above. The late Victorian building has various decorative features including pointed arch stone lintels an stepped brick gutter supports detail at eaves level. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph shows that the original shopfront had a retractable awning which was replicated across the group of six buildings.</p> <p>The 1994 photograph illustrates that, by this time, the original shopfront had been removed and replaced with a low quality metal shopfront. The first floor timber sliding sash windows have been replaced, along with the second floor casement timber windows.</p> <p>The 2008 view of the group on google/maps between 110 and 112, shows the original timber corbel detail with the decorative timber turned details to the underside of the corbel, the semi-circular top to the corbel with carved fan details and the leadwork protecting the corbel, fascia and cornice (now removed). This detail would have originally featured on all of the shopfronts in the group.</p> <p>Today in 2023, the shopfront has been replaced by a new metal framed shopfront with an external roller shutter. The upper floor windows have been replaced with uPVC windows with proportions that do not reflect the original design. No 110 has now been combined with No 112 with a sign that extends across both units. The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> •
Monitoring Notes	<p>The building is in reasonable condition with limited signs of deterioration that put the building at risk. The building has suffered from structural movement/settlement in the past. Any works that involve damage/loss of the decorative stone lintels, cills, shopfront cornice and decorative stepped eaves brickwork should not be permitted.</p>
Recommended Actions	<p>As part of a group of six buildings along with No 102,104, 106,110 and 112 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p> <p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels and fascia using the photograph of the original corbel detail to determine the proportions of the shopfront. • Reinstatement awning and blind box within shopfront design as shown on 1904 photograph.

- Removal of uPVC windows and replacement with timber sliding sash windows to match historic photographs.
- Re-decoration throughout.
- Repair and restoration of the existing cast iron rainwater goods.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank	Address Zam Zam, 112
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)	Current Photo – 11/05/2023 (author)
	
Historic Photo 04/10/1994 (Phil Hampel)	Image from 2008 showing the original timber corbel detail between No 110 and 112 (Source – www.google.co.uk/maps)
 <p>r6</p>	

<p>Building Notes</p>	<p>112 Spring Bank forms part of a group of six buildings including 102,104, 106,108 and 110 Spring Bank and comprise of 3 storey buff brick faced buildings with timber sliding sash windows to the upper floor levels. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 112 was built as retail use on the ground floor with residential/retail back of house above. The late Victorian building has various decorative features including pointed arch stone lintels an stepped brick gutter supports detail at eaves level. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph shows that the original shopfront had a retractable awning which was replicated across the group of six buildings.</p> <p>The 1994 photograph illustrates that, by this time, the original shopfront had been removed and replaced with a low quality metal shopfront. The first floor timber sliding sash windows have been replaced, along with the second floor casement timber windows.</p> <p>The 2008 view of the group on google/maps between 110 and 112, shows the original timber corbel detail with the decorative timber turned details to the underside of the corbel, the semi-circular top to the corbel with carved fan details and the leadwork protecting the corbel, fascia and cornice (now removed). This detail would have originally featured on all of the shopfronts in the group.</p> <p>Today in 2023, the shopfront has been replaced by a new metal framed shopfront with an external roller shutter. No 112 has now been combined with the adjacent 110 and the signage extends over both units. The upper floor windows have been replaced with uPVC windows with proportions that do not reflect the original design.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> •
<p>Monitoring Notes</p>	<p>The building is in reasonable condition with limited signs of deterioration that put the building at risk. The building has suffered from structural movement/settlement in the past. Any works that involve damage/loss of the decorative stone lintels, cills, shopfront cornice and decorative stepped eaves brickwork should not be permitted.</p>
<p>Recommended Actions</p>	<p>As part of a group of six buildings along with No 102,104, 106,110 and 112 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p> <p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels and fascia using the photograph of the original corbel detail to determine the proportions of the shopfront.

- Reinststate awning and blind box within shopfront design as shown on 1904 photograph.
- Removal of uPVC windows and replacement with timber sliding sash windows to match historic photographs.
- Re-decoration throughout.
- Repair and restoration of the existing cast iron rainwater goods.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank

Historic Photo circa 1970's (Phil Hampel)



Address: Mini Euro, 114

Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)



Building Notes

114 Spring Bank forms part of a group of five buildings including 116,118, 120 and 122 Spring Bank and comprise of 3 storey buff brick faced buildings with timber casement windows to the upper floor levels and a bay window to the first floor level. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 114 was built as retail use on the ground floor with residential/retail back of house above. This is identified due to the lack of external area that would have previously been enclosed as a front garden. The late Victorian building has various decorative features including decorative plaster mouldings and scroll details to the window surrounds and decorative timber gutter supports detail at eaves level. Windows were timber casement windows to both the first floor bay window and second floor window. The original building had a slate roof finish and cast iron rainwater goods.

The 1904 photograph (see No 112) shows that the original shopfront had a retractable awning which was replicated across the group of five buildings within the group.

The 1994 photograph illustrates that, by this time, the original shopfront had been removed and replaced with a low quality metal shopfront and large fascia signage. The decorative corbel detail with the scroll to the capitals were still in-situ at this time. The original timber casement windows have been replaced with new timber casement windows.

Today in 2023, the shopfront has been replaced again with a new metal framed shopfront. The two corbel details have been retained but the scroll capital has been removed to the RHS. The upper floor windows have been replaced with uPVC windows with proportions that do not reflect the original design. The slate roof has been replaced with a concrete pantile roof finish. The timber gutter support brackets have been retained and are in good condition but the downpipes have been replaced with PVC downpipes. The door opening to the first floor level to the side elevation off Morpeth Street has been partially bricked up and a window installed.

The building has been subject to the following Planning Application submissions :-

- 2006 – Change of use to A1 (Ref No 06/00838/COU)
- 2008 – Change of use of 1st and 2nd floor offices to 3 No self contained flats including external alterations (Ref No 08/00519/COU)

Monitoring Notes

The building is in reasonable condition but with some signs of deterioration. The staining of the first floor bay window would suggest that works are required to repair the leadwork to the roof of the bay window. The building has suffered from structural movement/settlement in the past. Any works that involve damage/loss of the decorative plaster window surrounds, cills, shopfront cornice and decorative timber eaves support brackets should not be permitted.

Recommended Actions

As part of a group of five buildings along with No 116,118, 120 and 122 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.

Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-

- Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels (as retained between No 114 and 116) and fascia retained behind existing fascia signs.
- Removal of uPVC windows and replacement with timber casement windows to match historic photographs from 1994.
- Repair/replacement of leadwork to the bay window and the top of the shopfront cornice and fascia.
- Re-decoration throughout.
- Repair of the retained decorative timber eaves support brackets.
- Repair and restoration of the existing cast iron rainwater goods.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the signage, services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank

Historic Photo circa 1970's (Phil Hampel)



Address: Dali Barber Shop, 116

Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)



<p>Building Notes</p>	<p>116 Spring Bank forms part of a group of five buildings including 114,118, 120 and 122 Spring Bank and comprise of 3 storey buff brick faced buildings with timber casement windows to the upper floor levels and a bay window to the first floor level. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 116 was built as retail use on the ground floor with residential/retail back of house above. This is identified due to the lack of external area that would have previously been enclosed as a front garden. The late Victorian building has various decorative features including decorative plaster mouldings and scroll details to the window surrounds and decorative timber gutter supports detail at eaves level. Windows were timber casement windows to both the first floor bay window and second floor window. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph (see No 112) shows that the original shopfront had a retractable awning which was replicated across the group of five buildings within the group.</p> <p>The 1994 photograph illustrates that, by this time, the original shopfront had been removed and replaced with a low quality metal shopfront with a door to each side serving the retail unit to the LHS and the residential units to the RHS. The decorative corbel detail with the scroll to the capitals are still in-situ at this time and the original timber casement windows.</p> <p>Today in 2023, the shopfront has been replaced again with a new metal framed shopfront. The two corbel details have been retained but the scroll capitals have been removed. The upper floor windows have been replaced with uPVC windows with proportions that do not reflect the original design. The slate roof has been replaced with a concrete pantile roof finish. The timber gutter support brackets have been either removed or covered over (likely the latter) with a timber fascia. The downpipes have been replaced with PVC downpipes.</p>
<p>Monitoring Notes</p>	<p>The building is in reasonable condition but with some signs of deterioration. The staining of the first floor bay window would suggest that works are required to repair the leadwork to the roof of the bay window and the leadwork flashings to the shopfront cornice. The building has suffered from considerable structural movement/settlement in the past. Any works that involve damage/loss of the decorative plaster window surrounds, cills, shopfront cornice and decorative timber eaves support brackets should not be permitted.</p>
<p>Recommended Actions</p>	<p>As part of a group of five buildings along with No 114,118, 120 and 122 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p> <p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels (as retained between No 114 and 116) and fascia retained behind existing fascia signs.

- Removal of uPVC windows and replacement with timber casement windows to match historic photographs from 1994.
- Repair/replacement of leadwork to the bay window and the top of the shopfront cornice and fascia.
- Re-decoration throughout.
- Removal of the timber fascia at eaves level and repair/reinstatement of the decorative timber eaves support brackets.
- Repair and restoration of the existing cast iron gutter and replacement of PVC downpipes with cast iron downpipes.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the signage, services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank

Historic Photo circa 1970's (Phil Hampel)



Address: Kingston Solicitors, 118

Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)



<p>Building Notes</p>	<p>118 Spring Bank forms part of a group of five buildings including 114,116, 120 and 122 Spring Bank and comprise of 3 storey buff brick faced buildings with timber casement windows to the upper floor levels and a bay window to the first floor level. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 118 was built as retail use on the ground floor with residential/retail back of house above. This is identified due to the lack of external area that would have previously been enclosed as a front garden. The late Victorian building has various decorative features including decorative plaster mouldings and scroll details to the window surrounds and decorative timber gutter supports detail at eaves level. Windows were timber casement windows to both the first floor bay window and second floor window. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph (see No 112) shows that the original shopfront had a retractable awning which was replicated across the group of five buildings within the group.</p> <p>The 1994 photograph illustrates that, by this time, the original shopfront had been removed and replaced with a low quality shopfront part infilled with a rendered finish with a central uPVC door to the retail unit and domestic Georgian style uPVC windows. The decorative corbel detail with the scroll to the capitals are still in-situ at this time and the original timber casement windows.</p> <p>Today in 2023, this later shopfront has been retained. The two corbel details have been retained but the scroll capitals have been removed. The upper floor windows have been replaced with timber casement windows although the outer frame appears to be original. The slate roof has been replaced with a concrete pantile roof finish. The timber gutter support brackets have been removed and replaced with a timber fascia. The downpipes have been replaced with PVC downpipes.</p>
<p>Monitoring Notes</p>	<p>The building is in reasonable/poor condition with some signs of deterioration. The timber windows to the upper floor level have deteriorated and require repair. The decorative plasterwork has been damaged. The staining of the first floor bay window would suggest that works are required to repair the leadwork to the roof of the bay window and the leadwork flashings to the shopfront cornice. The building has suffered from considerable structural movement/settlement in the past. Any works that involve damage/loss of the decorative plaster window surrounds, cills, shopfront cornice and decorative timber eaves support brackets should not be permitted.</p>
<p>Recommended Actions</p>	<p>As part of a group of five buildings along with No 114,116, 120 and 122 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p> <p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p>

- Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels (as retained between No 114 and 116) and fascia retained behind existing fascia signs.
- Removal of the low quality opening windows and replacement with timber casement windows to match historic photographs from 1994.
- Repair/replacement of leadwork to the bay window and the top of the shopfront cornice and fascia.
- Re-decoration throughout.
- Removal of the timber fascia at eaves level and repair/reinstatement of the decorative timber eaves support brackets.
- Repair and restoration of the existing cast iron gutter and replacement of PVC downpipes with cast iron downpipes.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the signage, services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank

Historic Photo circa 1970's (Phil Hampel)



Historic Photo 26/04/2010 (Phil Hampel)



Address: MWJ Trophies, 120

Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>120 Spring Bank forms part of a group of five buildings including 114,116, 118 and 122 Spring Bank and comprise of 3 storey buff brick faced buildings with timber casement windows to the upper floor levels and a bay window to the first floor level. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 120 was built as retail use on the ground floor with residential/retail back of house above. This is identified due to the lack of external area that would have previously been enclosed as a front garden. The late Victorian building has various decorative features including decorative plaster mouldings and scroll details to the window surrounds and decorative timber gutter supports detail at eaves level. Windows were timber casement windows to both the first floor bay window and second floor window. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph (see No 112) shows that the original shopfront had a retractable awning which was replicated across the group of five buildings within the group.</p> <p>Today in 2023, the original timber shopfront has been removed and replaced with a new metal framed shopfront with a central entrance door and brick stall risers. The two corbel details and scrolls to the pilasters appear to have been removed or concealed behind the existing shopfront. The upper floor windows have been replaced with uPVC casement windows. The slate roof has been replaced with a concrete pantile roof finish. The timber gutter support brackets have been either removed or covered over (likely the latter) with a timber fascia. The downpipes have been replaced with PVC downpipes.</p>
<p>Monitoring Notes</p>	<p>The building is in reasonable/poor condition with some signs of deterioration. The timber windows to the upper floor level have deteriorated and require repair. The decorative plasterwork has been damaged. The staining of the first floor bay window would suggest that works are required to repair the leadwork to the roof of the bay window and the leadwork flashings to the shopfront cornice. The building has suffered from considerable structural movement/settlement in the past. Any works that involve damage/loss of the decorative plaster window surrounds, cills, shopfront cornice and decorative timber eaves support brackets should not be permitted.</p>
<p>Recommended Actions</p>	<p>As part of a group of five buildings along with No 114,116, 118 and 122 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p> <p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels (as retained between No 114 and 116) and fascia retained behind existing fascia signs.

- Removal of the low quality opening windows and replacement with timber casement windows to match historic photographs from 1994.
- Repair/replacement of leadwork to the bay window and the top of the shopfront cornice and fascia.
- Repair of the decorative plasterwork scrolls and mouldings.
- Re-decoration throughout.
- Removal of the timber fascia at eaves level and repair/reinstatement of the decorative timber eaves support brackets.
- Repair and restoration of the existing cast iron gutter and replacement of PVC downpipes with cast iron downpipes.
- Removal of the concrete pantile roof and replacement with a new slate roof.
- Rationalisation of the signage, services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank

Address: Head Gardener, 122

Historic Photo circa 1970's (Phil Hampel)

Current Photo – 11/05/2023 (author)





Historic Photo 26/04/2010 (Phil Hampel)



Building Notes	<p>122 Spring Bank forms part of a group of five buildings including 114,116, 118 and 120 Spring Bank and comprise of 3 storey buff brick faced buildings with timber casement windows to the upper floor levels and a bay window to the first floor level. Built between 1853 and 1893, unlike many of the other buildings along Spring Bank which were originally built as residential use and later converted, No 122 was built as retail use on the ground floor with residential/retail back of house above. This is identified due to the lack of external area that would have previously been enclosed as a front garden. The late Victorian building has various decorative features including decorative plaster mouldings and scroll details to the window surrounds and decorative timber gutter supports detail at eaves level. Windows were timber casement windows to both the first floor bay window and second floor window. The original building had a slate roof finish and cast iron rainwater goods.</p> <p>The 1904 photograph (see No 112) shows that the original shopfront had a retractable awning which was replicated across the group of five buildings within the group.</p> <p>Today in 2023, the original timber shopfront has been removed and replaced with a new timber framed shopfront with a central entrance door and brick stall risers. The two corbel details and scrolls to the pilasters have been removed. The upper floor windows have been replaced with uPVC casement windows. The slate roof has been retained. The timber gutter support brackets have been retained in good condition. The downpipes have been replaced with PVC downpipes.</p>
Monitoring Notes	<p>The building is in reasonable/poor condition with some signs of deterioration. The decorative plasterwork has been damaged. The staining of the first floor bay window would suggest that works are required to repair the leadwork to the roof of the bay window and the leadwork flashings to the shopfront cornice. The building has suffered from considerable structural movement/settlement in the past. Any works that involve damage/loss of the decorative plaster window surrounds, cills, shopfront cornice and decorative timber eaves support brackets should not be permitted.</p>
Recommended Actions	<p>As part of a group of five buildings along with No 114,116, 118 and 120 Spring Bank, the building would benefit from a collective restoration to achieve a cohesive restoration.</p> <p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Reinstatement of the original shopfront design using the remnants of the original pilasters, cornice, corbels (as retained between No 114 and 116) and fascia retained behind existing fascia signs. • Removal of the low quality uPVC windows and replacement with timber casement windows to match historic photographs from 1994. • Repair/replacement of leadwork to the bay window and the top of the shopfront cornice and fascia.

- Re-decoration throughout.
- Repair of the decorative plasterwork scrolls and mouldings.
- Removal of the timber fascia at eaves level and repair/reinstatement of the decorative timber eaves support brackets.
- Repair and restoration of the existing cast iron gutter and replacement of PVC downpipes with cast iron downpipes.
- Repair of the existing slate roof where damaged/slates are missing.
- Rationalisation of the signage, services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank	Address Hi Q Tyres & Autocare, 124-134
Historic Photo 04/10/1994 (Phil Hampel)	Current Photo – 11/05/2023 (author)
	
Building Notes	<p>Prior to the construction of the Hi Q Tyres & Autocare centre, historical maps identify that the site was previously a green space, which also formed part of the surface water management system. In 1989 a Petrol Filling Station was built on the site to serve the growing popularity of private car ownership (see 1994 photo). This Petrol Filling Station was later demolished in 1999 after planning permission was granted to build the new Hi Q garage for use as a tyre and exhaust fitting depot.</p> <p>The location of the building is set back from the street frontage with an extensive forecourt to the Spring Bank frontage, providing turning area for vehicles entering the site. The buildings position is incongruous with the general urban grain of Spring Bank where buildings are located at the back of pavement. The building is 1.5 storey in height and is of a design that is of its time.</p> <p>The existing use and building form creates a substantial gap in the urban form and is of a building type that is more suited to out of town industrial areas rather than at the heart of a community retail centre.</p> <p>The site would benefit from redevelopment with a building that contributes positively to the character of the Conservation Area or to provide a site for a greenspace.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> • 1989 - Application to install a 22,700L underground diesel tank for petrol filling station

	<ul style="list-style-type: none"> • 1993 – Proposed installation of petrol pump for Derv sales and installation of underground derv tank and suction line • 1997 – Display of internally illuminated sign • 1999 – Demolition of existing PFS and erection of new building for storage and fitting of tyres, exhausts and associated motor spares including MOT testing. • 1999 – Change of use of former PFS to a vehicle hire facility • 2020 – Erection of telecommunications installation
Monitoring Notes	The building is in good condition generally. The site would benefit from redevelopment in the long term to provide a more appropriate building use and massing for Spring Bank.
Recommended Actions	No actions required at this stage.

Street: Spring Bank

Historic Photo circa 1970's (Phil Hampel)



Historic Photo 04/10/1994 (Phil Hampel)



Address: Elderley Care Home, Livingstone House 136

Current Photo – 11/05/2023 (author)



Building Notes	<p>136 Spring Bank was built between 1853 and 1893 and was built at a later date than the adjacent Pines Hotel at 138. The building comprises of a three storey buff brick building with a large three storey bay window to the Spring Bank frontage with the building line consistent with the adjacent No 138. The scale of the building reduces to two storey towards the rear of the site to respond to the more domestic scale of the residential properties along Hutt Street. The roof would have been of a slate finish with cast iron gutters and downpipes. Windows were timber sliding sash throughout. Access to the building is through a small entrance lobby towards the rear of the site.</p> <p>Today in 2023, the building has been subject to a number of modifications. The timber sliding sash windows have been replaced with uPVC windows and deep soffits have been installed to the roof overhang. The slate roof has been replaced with terracotta concrete pantiles and cast iron rainwater goods have been replaced with PVC.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> • 1990 – Use of premises as residential home for the elderly (Ref No 90/00503/PF) • 1995 – Use of premises as residential home for the elderly (Renewal of unimplemented permission dated 8 August 1990) (Ref No 95/00317/PR).
Monitoring Notes	<p>The building is in reasonable condition with limited signs of deterioration. Any works that involve damage/loss of the decorative stone window cills, lintels and decorative plaster surrounds to windows should not be permitted.</p>
Recommended Actions	<p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the uPVC windows and replacement with timber sash windows to match historic photographs. • Repair of the decorative plasterwork window surrounds. • Removal of the timber fascia at eaves level and repair/reinstatement of the decorative timber eaves support brackets. • Replacement of PVC downpipes and gutters with cast iron. • Removal of the concrete pantile roof finish and reinstatement of the slate tile finish. • Rationalisation of the signage, services, electrical conduits, sky dishes and alarm boxes. • Replacement of the hedge planting to the boundary with Spring Bank and Hutt Street.

Street: Spring Bank

Address: The Pines Hotel, 138

Historic Photo 04/10/1994 (Phil Hampel)

Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)



Building Notes	<p>138 Spring Bank was built between 1853 and 1893 and was built prior to the adjacent 136 Spring Bank. The building comprises of a three storey buff brick building with a large single storey bay window to the Spring Bank frontage with the building line consistent with the adjacent No 136 and 140. The roof would have been of a slate finish with cast iron downpipes, timber gutters and decorative timber gutter supports at eaves level. Windows were timber sliding sash throughout. A decorative projecting stone arched portico denotes the main entrance. A projecting stone feature band connects the windows at first and second floor level. The 1994 photograph shows that, by this time, the windows had been replaced with uPVC casement windows to the first and second floor level. The original timber sash windows to the ground floor level bay window have been retained. The slate roof tiles had also been replaced with terracotta concrete pantiles. In 2011/2012 the Pines Hotel was put on the market and sold. In 2013 a planning application was made for change of use from guest house to House of Multiple Occupancy which was approved. The building has been unoccupied since 2021 and has been boarded up at the main entrance. Since this time the building has suffered from ongoing deterioration. The gutter at eaves level and fascia requires repair and the downpipe at first floor level is damaged, causing staining and mould growth to the façade. The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> • 1988-Use of property as a guest house with parking at the rear, erection of a rear ground floor bedroom extension (88/00508/PF) • 1993-Erection of first floor rear extension (Ref No: 93/00386/PF) • 2013 – Change of use from hotel to house in multiple occupation – 11 bedrooms (Ref No 13/00248/COU)
Monitoring Notes	<p>The building is in a poor condition having been left unoccupied since 2012. The gutters and downpipes are particularly defective and may cause increased rate of deterioration if not addressed. Any works that involve damage/loss of the decorative stonework, arched brick lintels, decorative stone portico, timber sliding sash windows and carved stone features should not be permitted.</p>
Recommended Actions	<p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the uPVC windows and replacement with timber sash windows to match historic photographs to the first and second floor level. • Repair of the decorative stone detailing. • Repair/replacement of the cast iron downpipe. • Removal of the defective timber fascia at eaves level and repair/reinstatement of the decorative timber eaves support brackets and fascias. • Removal of the concrete pantile roof finish and reinstatement of the slate tile finish. • Rationalisation of the signage, services, electrical conduits, sky dishes and alarm boxes.

Street: Spring Bank

Historic Photo 26/04/2010 (Phil Hampel)



Historic Photo 22/11/2012 (Phil Hampel)



Kelvin House, 140

Current Photo – 11/05/2023 (author)



Building Notes

140 Spring Bank was built between 1853 and 1893 and was built prior to the adjacent 138 Spring Bank. 140 forms part of a group of buildings including 142, 144, 146 and 148, although No 140 has a wider, more prominent brick bay window which would suggest that it originally formed a bookend corner plot to the group. The building comprises of a two storey buff brick building with a two storey projecting bay window to the Spring Bank frontage with the building line consistent with the adjacent No 138 and 142. A pitched roof dormer creates a decorative detail at roof level, breaking up the mass of the roofscape. The eaves level to the pitch would have featured decorative cut-out timber fascia (as No 142 adjacent). The roof would have been of a slate finish with cast iron downpipes, timber gutters and decorative timber gutter supports at eaves level. Windows were timber sliding sash throughout. A decorative stone frieze with rosette details is located at first floor level on the bay window. The entrance porch is denoted with a decorative stone arched portico with a recessed tiled entrance porch. A decorative plaster surround is located to the sides and archway of the entrance door. Decorative stone keystones are positioned at the head of the arched window at first floor level.

In 1986 a Change of Use application was made from hotel to residential home for the elderly. The 2012 photograph shows that, by this time, the windows had been replaced with uPVC casement windows to all floor level. The slate roof tiles had also been replaced with terracotta concrete pantiles. The original timber door and decorative glazed screen surround has been removed and replaced with a low quality uPVC door and glazed screen which is not centred in the opening. The decorative cut-out timber fascia to the pitched dormer has been removed and replaced with a flat section of timber. The Victorian decorative tiled threshold detail has been retained.

Today, limited changes

The building has been subject to the following Planning Application submissions :-

- 1986 – Change of use from hotel to residential home for the elderly. Demolition of rear extension and erection new ground floor extension. (Ref No : 86/00609/PF)
- 2022 – Planning Enforcement – Alleged c/o use to HIMO (Case closed).

Monitoring Notes

The building is in a reasonable condition although it has lost some of its original features. Any works that involve damage/loss of the decorative stonework, arched brick lintels and stone keystones, decorative plaster arched porch details should not be permitted.

Recommended Actions

Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-

- Removal of the uPVC windows and replacement with timber sash windows to match historic evidence (as No 142 adjacent).
- Repair of the decorative stone detailing and removal of layers of paint.
- Repair/replacement of the cast iron downpipe and gutters where required.

- Removal of the simple timber fascia at eaves level to the feature gable and replacement with a decorative cut-out fascia and timber carves spire at the ridge (as No 142).
- Removal of the concrete pantile roof finish and reinstatement of the slate tile finish.
- Rationalisation of the services, electrical conduits, sky dishes and alarm boxes.
- Removal of the uPVC entrance door and glazed screen and replacement with a new timber door and glazed screen surround to match the adjacent No 142 original detail.
- Removal of paint/repair/reinstatement of the glazed tile details to the entrance porch recess (as No 142).
- Installation of a consistent boundary treatment with low level wall and railings across the group.

Street: Spring Bank

142

Historic Photo 26/04/2010 (Phil Hampel)

Current Photo – 11/05/2023 (author)



Historic Photo 22/11/2012 (Phil Hampel)



<p>Building Notes</p>	<p>142 Spring Bank was built between 1853 and 1893 and was built prior to the adjacent 138 Spring Bank. 142 forms part of a group of buildings including 140, 144, 146 and 148 with consistent details across all buildings. The building comprises of a two storey buff brick building with a two storey projecting bay window to the Spring Bank frontage. A pitched roof dormer creates a decorative detail at roof level, breaking up the mass of the roofscape. The eaves level to the pitch featured decorative cut-out timber fascia. The roof would have been of a slate finish with cast iron downpipes, timber gutters and decorative timber gutter supports at eaves level. Windows were timber sliding sash throughout. Decorative carved timber details including eaves support and pillars are located on the bay window. The entrance porch is denoted with a decorative stone arched portico with a recessed tiled entrance porch. A decorative plaster surround was located to the sides and archway of the entrance door. Decorative stone keystones are positioned at the head of the arched window at first floor level. The building was used as a dental surgery until 2007/2008 when an application was made for change of use to 4 self-contained flats.</p> <p>The 2023 photograph shows that many of the original features have been retained including the decorative stone keystone and details to the arched entrance portico, the original timber door and glazed screen surround, the timber sash windows, the original timber detailing and panelling to the bay window, the decorative eaves supports, the cut-out timber fascia and decorative timber spire to the gable dormer (albeit the bottom section has been removed). The decorative plaster frieze to the arched door surround has been removed.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> • 2007 – Change of use from dental surgery to 5 self-contained flats and erection of two storey rear extension (07/00858/COU) (Application refused). • 2008 – Change of use from dental surgery to 4 self-contained flats, external alterations to windows/door openings to the rear and laying out of car parking area. (Ref No 08/00052/FULL) (application permitted).
<p>Monitoring Notes</p>	<p>The building is in a reasonable condition although it is showing signs of continued deterioration and lack of maintenance, particularly to the bay window at first floor level. No 142 has retained the majority of original features from the overall group and therefore any works that involve damage/loss of the decorative stonework, arched brick lintels and stone keystones, decorative stone arched porch details or the timber details to the bay window should not be permitted.</p>
<p>Recommended Actions</p>	<p>Although the building has retained many of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Repair and redecoration of the timber sash windows and the timberwork to the bay window. • Repair/replacement of the lead flashing detail to the ground floor bay window to take water away from the brick wall.

- Reinstatement of the decorative plaster frieze to the arched door surround (using No 140 as the template).
- Repair of the decorative stone detailing and removal of layers of paint.
- Repair/replacement of the cast iron downpipe and gutters where required.
- Repair of the lower finial to the spire at the ridge (as No 144).
- Removal of the concrete pantile roof finish and reinstatement of the slate tile finish.
- Rationalisation of the services, electrical conduits, sky dishes and alarm boxes.
- Repair and redecoration of the original timber door and glazed screen surround.
- Removal of paint/repair/reinstatement of the glazed tile details to the entrance porch recess.
- Reinstatement of the decorative Victorian tiles to the porch threshold (as No 140)
- Installation of a consistent boundary treatment with low level wall and railings across the group.

Street: Spring Bank

Historic Photo 26/04/2010 (Phil Hampel)



Historic Photo 22/11/2012 (Phil Hampel)



Jigsaw House, 144

Current Photo – 11/05/2023 (author)



Building Notes

144 Spring Bank was built between 1853 and 1893 and was built prior to the adjacent 138 Spring Bank. 144 forms part of a group of buildings including 140, 142, 146 and 148 with consistent details across all buildings. The building comprises of a two storey buff brick building with a two storey projecting bay window to the Spring Bank frontage. A pitched roof dormer creates a decorative detail at roof level, breaking up the mass of the roofscape. The eaves level to the pitch featured decorative cut-out timber fascia and timber spire at the ridge. The roof would have been of a slate finish with cast iron downpipes, timber gutters and decorative timber gutter supports at eaves level. Windows were timber sliding sash throughout. Decorative carved timber details including eaves support and pillars are located on the bay window. The entrance porch is denoted with a decorative stone arched portico with a recessed tiled entrance porch. A decorative plaster surround was located to the sides and archway of the entrance door. Decorative stone keystones are positioned at the head of the arched window at first floor level.

The building was used as a dwelling until 1985 when it was converted to a shop. In 2000 it was converted to a school before being converted to a children’s residential home in 2003.

The 2023 photograph shows that many of the original features have been retained including the decorative stone keystone to the arched entrance portico, the original glazed screen surround (although the door has been replaced), elements of the original timber detailing and panelling to the bay window, the decorative eaves supports, the cut-out timber fascia and decorative timber spire to the gable dormer (albeit the top section has been removed). The decorative plaster frieze to the arched door surround has been removed and the windows have been replaced with uPVC. Staining on the brickwork would suggest that the downpipes require repair or replacement.

The building has been subject to the following Planning Application submissions :-

- 1985 – Change of use from dwelling house to shop (85.00519/PF).
- 2000 - Change of use to school for 10 to 16 year olds (00/00364/PF)
- 2003 – Change of use from school to children’s residential home (up to six children)

Monitoring Notes

The building is in a reasonable condition although it is showing signs of continued deterioration and lack of maintenance, particularly to the bay window at first floor level. No 144 has retained some of its original features from the overall group and any works that involve damage/loss of the decorative stonework, arched brick lintels and stone keystones or timber details to the bay window, should not be permitted.

Recommended Actions

Although the building has retained many of its earlier Victorian features, it would benefit from the following works :-

- Repair and redecoration of the timberwork to the bay window.
- Remove the uPVC windows and replace with timber sash windows.
- Reinstatement of the decorative plaster frieze to the arched door surround (using No 140 as the template).

- Repair of the decorative stone detailing and removal of layers of paint.
- Repair/replacement of the cast iron downpipe and gutters where required.
- Repair of the upper finial to the spire at the ridge (as No 142).
- Removal of the concrete pantile roof finish and reinstatement of the slate tile finish.
- Rationalisation of the services, electrical conduits, sky dishes and alarm boxes.
- Repair and redecoration of the original timber glazed screen and replacement of the door with a new timber door with glazed upper panels (using 142 as the template).
- Removal of paint/repair/reinstatement of the glazed tile details to the entrance porch recess (if retained).
- Reinstatement of the decorative Victorian tiles to the porch threshold (as No 140).

Street: Spring Bank

146

Historic Photo 26/04/2010 (Phil Hampel)

Current Photo – 11/05/2023 (author)



Historic Photo 22/11/2012 (Phil Hampel)



<p>Building Notes</p>	<p>146 Spring Bank was built between 1853 and 1893 and was built prior to the adjacent 138 Spring Bank. 146 forms part of a group of buildings including 140, 142, 144 and 148 with consistent details across all buildings. The building comprises of a two storey buff brick building with a two storey projecting bay window to the Spring Bank frontage. A pitched roof dormer creates a decorative detail at roof level, breaking up the mass of the roofscape. The eaves level to the pitch featured decorative cut-out timber fascia and timber spire at the ridge. The roof would have been of a slate finish with cast iron downpipes, timber gutters and decorative timber gutter supports at eaves level. Windows were timber sliding sash throughout. Decorative carved timber details including eaves support and pillars are located on the bay window. The entrance porch is denoted with a decorative stone arched portico with a recessed tiled entrance porch. A decorative plaster surround was located to the sides and archway of the entrance door. Decorative stone keystones are positioned at the head of the arched window at first floor level.</p> <p>The building has been used as flats since 2001.</p> <p>The 2023 photograph shows that some of the original features have been retained including the decorative stone keystone to the arched entrance portico, elements of the original timber detailing and panelling to the bay window (although the bay windows have been overclad with horizontal timber cladding), the decorative eaves support to the gable dormer. The decorative plaster frieze to the arched door surround has been removed and the windows have been replaced with uPVC. The decorative spire and cut-out timber fascia has been lost along with the original timber entrance door and glazed screen surround.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> • 1999-Retention of use of property as 4 flats (2 self-contained, 2 non-self contained) in addition to existing flat on ground floor (rear). Ref No . 99/00243/PF) • 2001-Conversion of property from two flats and three bedsits to three flats (retrospective application). (Ref
<p>Monitoring Notes</p>	<p>The building is in a reasonable condition and has recently been renovated and redecorated. No 146 has retained some of its original features from the overall group and any works that involve damage/loss of the decorative stonework, arched brick lintels and stone keystones or timber details to the bay window, should not be permitted.</p>
<p>Recommended Actions</p>	<p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the timber cladding, repair and redecoration of the timberwork to the bay window. • Remove the uPVC windows and replace with timber sash windows. • Reinstatement of the decorative plaster frieze to the arched door surround (using No 140 as the template). • Repair of the decorative stone detailing and removal of layers of paint.

- Repair of the cast iron downpipe and gutters where required.
- Reinstatement of the spire at the ridge (as No 142).
- Reinstatement of the decorative timber cut-out fascia (as No 142).
- Removal of the concrete pantile roof finish and reinstatement of the slate tile finish.
- Rationalisation of the services, electrical conduits, sky dishes and alarm boxes.
- Reinstatement of the original timber glazed screen and timber door with glazed upper panels (using 142 as the template).
- Removal of paint/repair/reinstatement of the glazed tile details to the entrance porch recess (if retained).
- Reinstatement of the decorative Victorian tiles to the porch threshold (as No 140).

Street: Spring Bank

Historic Photo 04/10/1994 (Phil Hampel)



Historic Photo 04/10/1994 (Phil Hampel)



Peel Hall, 148

Current Photo – 11/05/2023 (author)



Building Notes	<p>Peel Hall at 148 Spring Bank was built between 1853 and 1893 and forms part of a group of buildings including 140, 142, 144 and 146 with consistent details across all buildings.</p> <p>The building comprises of a two storey buff brick building with a two storey projecting bay window to the Spring Bank frontage. A pitched roof dormer creates a decorative detail at roof level, breaking up the mass of the roofscape. A pitched dormer is also located on the side elevation along Peel Street. The eaves level to the pitch would have featured decorative cut-out timber fascia and timber spire at the ridge (as 142). The roof would have been of a slate finish with cast iron downpipes and decorative timber gutter supports at eaves level. Windows were timber sliding sash throughout.</p> <p>The proportions, detailing and the repair of the brickwork to the first floor level above the entrance would suggest that the building originally featured a projecting bay window, as the other buildings in the group. The remnants of arched brickwork on the Peel Street elevation, suggest that, the main entrance door was from the Peel Street elevation rather than the Spring Bank elevation.</p> <p>The building was likely to have been designed as two dwellings with both entrances off Peel Street. In 1926 the Spring Bank Christian Assembly occupied the buildings and is thought to have undertaken restoration and modernisation work shortly after this time. The 1994 photograph illustrates the 1930's design with a central set of double doors forming the main entrance within what would have originally been the projecting bay window. To each side, a group of 3 vertically proportioned windows were installed along with a group of 3 centred directly above the entrance door. The ground floor level was rendered at this time to conceal the infilled window openings. The design proportions and detailing depicts the 1930's modernist style.</p> <p>In 2013 a planning application was made to create a 8m wide extension to the rear of the property to create additional WC's. This was subsequently refused due to the over dominance on the adjacent property. A revised application was submitted following feedback and consultation to reduce the width of the extension which was approved. The first floor window above the main entrance door has since been combined to create one large window with the three narrow slot windows removed.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> • 2013 – Erection of single storey extension to rear (Ref NO 13/00524/FULL) Refused • 2013 – Erection of single storey extension to the rear (Ref NO 13/00790/FULL) Revised application.
Monitoring Notes	<p>The building is in a good condition and has been well maintained. There are no areas of concern identified at this time.</p>
Recommended Actions	<p>Although the building has retained some of its earlier Victorian features, the modernisation of the building in the 1930's are considered to be 'of its time' and have involved a level of intervention that would not benefit from returning the building form back to its original design. The 1930's design is considered to have a positive impact on the Conservation Area, depicting the modernist style of architecture and describes the evolution of Spring Bank in its architectural style and changing use over the last 150 years.</p>

it would benefit from the following works :-

- Removal of the timber cladding to the second floor level and replacement of the window.
- Rationalisation/rerouting of the additional rain water pipes that dominate the Peel Street elevation.

Street: Spring Bank	150
Historic Photo 04/10/1994 (Phil Hampel)	Current Photo – 11/05/2023 (author)
	
Historic Photo 26/04/2010 (Phil Hampel)	
	
Building Notes	<p>150 Spring Bank was developed between 1853 and 1893 and features a building on the 1893 OS map with a large projecting bay window on the Spring Bank elevation and the main entrance off Peel Street. This building was demolished in the late 1900's and sat vacant until an application was made to build a new purpose built Nursery on the site in 2000. This application was approved and the 2010 photograph shows the Nursery building comprising of a buff building of three storeys to the Spring Bank frontage reducing to two storeys to the rear along Peel Street. Although the design has responded to the adjacent Victorian buildings by introducing a</p>

	<p>contrasting string course in the brickwork to match the string course level of the adjacent building, and projecting bay windows to the Spring Bank frontage, the proportions of the windows are reduced in scale and grandeur. The roof is a concrete pantile roof and windows are uPVC.</p> <p>In 2007 the building was sold and redeveloped for residential use to provide 8 self contained flats. The building is still in use as apartments today.</p> <p>In 2023 the building has retained all of its original features with three additional windows added to the side Peel Street elevation. The building has been subject to graffiti along the Peel Street elevation.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> • 2000 - Erection of part three storey/part two storey building to house childrens nursery (overall length 20m x 10m wide x 13.7m overall height: 65ft 8ins x 32ft 10ins x 45ft) (2) Provision of outdoor play area at rear of building enclosed by 3m high(9ft 10ins) boundary wall (3) Laying out of car parking area for 7 cars at rear (Ref No. 00/00660/PF). Approved. • 2007 - Change of use from children’s nursery to 8 self contained flats. (Ref No. 07/00730/COU). Approved.
<p>Monitoring Notes</p>	<p>The building is in a good condition and has been well maintained. There are no areas of concern identified at this time.</p>
<p>Recommended Actions</p>	<p>The buildings design is considered to be ‘of its time’ and respects the scale and massing of the historical context.</p> <p>it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the graffiti to the Peel Street elevation • Introduction of soft planting to the front garden to improve the setting of the Conservation Area.

Street: Spring Bank

Historic Photo 04/10/1994 (Phil Hampel)



Historic Photo 26/04/2010 (Phil Hampel)



West Park House, 154

Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>154 Spring Bank was developed between 1853 and 1893 as a double bay fronted dwelling or hotel with a central entrance door off Spring Bank. Although of similar detail to 156 adjacent, the changing level of the decorative stone string course and the different window proportions would suggest that they were built at different times. The building comprises of a three storey building of buff brick with large projecting bay windows to ground floor level. The first floor windows featured decorative arched carved stone lintels with decorative keystones and the second floor level features carve stone surrounds. A stone string course creates horizontal interest at the head/base of the upper floor windows and decorative supports are located beneath the second floor windows. The roof finish would have been slate with cast iron rainwater goods.</p> <p>The 1994 photograph shows the original details to the bay windows with the arched head detail and timber casement windows with arched corners (similar to No 167 opposite) which are a consistent feature in later Victorian buildings along Spring Bank. This also shows that the timber windows had been replaced by 1994 with metal framed windows to the upper floor levels. By this time the entrance door and stepped access off Spring Bank has been removed and changed to a window following the expansion of 154 and 156 to create West Park House. Historic planning applications for the adjacent site suggest that this was originally a hotel and later converted to apartments. The cast iron downpipes have been removed and replaced with PVC. In 2023 the windows have been replaced throughout with uPVC windows. The bay window has lost its original timber windows and the arched lintel details have been concealed by vertical timber cladding. The leadwork to the roof of the bay windows has also been replaced with a black PVC/felt roof finish. The slate roof finish as been retained.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> • 1988 - Erection of cladding to partially enclose existing fire escapes at first floor level (Ref No 88/00556/PF)
<p>Monitoring Notes</p>	<p>The building is in a generally poor condition and is suffering from a lack of general maintenance. Weed and vegetation growth around the perimeter of the building would suggest that external falls are not taking water away from the building. The decorative stone string course and stone window surrounds require repair and redecoration and possible reprofiling to take surface water away from the building more effectively.</p>
<p>Recommended Actions</p>	<p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the timber cladding to the bay windows and reinstatement of the arched window lintels. • Removal of the uPVC windows and replacement with timber casement windows with proportions to match historical photographs. • Removal of the PVC rain water goods and replacement with cast iron rainwater goods.

- Repair/reprofile of the stone cills and string course to take surface water away from the brickwork and windows.
- Redecoration throughout.
- Reinstatement of the original door opening to provide access to the garden area.
- Improved boundary treatment and the introduction of soft planting.

Street: 6

West Park House, 156

Historic Photo 04/10/1994 (Phil Hampel)

Current Photo – 11/05/2023 (author)



Historic Photo 22/11/2012 (Phil Hampel)



Building Notes

156 Spring Bank was developed between 1853 and 1893 as a central bay window fronted dwelling or hotel with the entrance door to the RHS of the bay window. Although of similar detail to 152 adjacent, the changing level

	<p>of the decorative stone string course and the different window proportions would suggest that they were built at different times. The building comprises of a three storey building of buff brick with large projecting bay window to the ground floor level. The first floor windows featured decorative arched carved stone lintels with decorative keystones and the second floor level features carve stone surrounds. A stone string course creates horizontal interest at the head/base of the upper floor windows and decorative supports are located beneath the second floor windows. The roof finish would have been slate with cast iron rainwater goods.</p> <p>The 1994 photograph shows the original details to the bay window has been removed/concealed behind a simple timber panel. This also shows that the timber windows had been replaced with metal framed windows to the upper floor levels. The original entrance door has been removed, the opening increased and a new metal glazed screen and door added along with a projecting canopy. Historic planning applications for the adjacent site suggest that 156 (and possibly 154 adjacent) were originally a hotel and later converted to apartments. The cast iron downpipes have been removed and replaced with PVC and the slate roof finish as been retained. In 2023 the windows have been replaced throughout with uPVC windows. The bay window has lost its original timber windows and the arched lintel details have been concealed by vertical timber cladding. The leadwork to the roof of the bay windows has also been replaced with a black PVC/felt roof finish.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> • 1988 - Erection of cladding to partially enclose existing fire escapes at first floor level (Ref No 88/00556/PF)
<p>Monitoring Notes</p>	<p>The building is in a generally poor condition and is suffering from a lack of general maintenance. Weed and vegetation growth around the perimeter of the building would suggest that external falls are not taking water away from the building. The decorative stone string course and stone window surrounds require repair and redecoration and possible reprofiling to take surface water away from the building more effectively.</p>
<p>Recommended Actions</p>	<p>Although the building has retained some of its earlier Victorian features, it would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the timber cladding to the bay windows and reinstatement of the original window lintels. • Removal of the uPVC windows and replacement with timber casement windows with proportions to match historical photographs. • Removal of the PVC rain water goods and replacement with cast iron rainwater goods. • Repair/reprofile of the stone cills and string course to take surface water away from the brickwork and windows. • Reinstatement of the original door opening. • Improved boundary treatment and the introduction of soft planting.

Street: Spring Bank

158

Historic Photo 04/10/1994 (Phil Hampel)

Current Photo – 11/05/2023 (author)



Historic Photo 26/04/2010 (Phil Hampel)



Building Notes

158 Spring Bank was previously undeveloped between 1853 and 1893 and formed the gardens to the adjacent hotel at 156. In 1989 the previously greenspace land an outline application was made to built a three storey office on the land. A further application in 1989 was made to construct a three storey residential building with rear parking. This application was approved and built adjoining No 158 Spring Bank.

	<p>The new development comprises of a three storey buff brick building with horizontal contrasting string course. A three storey bay to the RHS of the Spring Bank elevation is designed to reflect the style of the adjacent 160 but with a style that reflects the 1990's using slate shingles to the bay, wood effect uPVC windows and brown painted joinery details. The roof finish is concrete pantile. The main entrance to the flats is from the side elevation.</p> <p>The building has been subject to the following Planning Application submissions :-</p> <ul style="list-style-type: none"> • 1989 – Erection of three-storey building for use as offices (outline – position of access supplied) (Ref No 89/01239/PF). • 1989 – Erection of a three storey building to provide six one bedroom flats, construction of new access road from Spring Bank and laying out or rear car park. (Ref No 89/01240/PF).
Monitoring Notes	<p>The building is in a generally good condition and has undergone regular maintenance. There are no risk items identified at this stage.</p>
Recommended Actions	<p>The buildings design is typical of the 1990's style of domestic architecture and has taken cues from the adjacent Victorian villas but in a contemporary way of its time.</p> <p>The introduction of soft planting to the front garden would benefit the setting of the Conservation Area.</p>

Street: Spring Bank

160

Historic Photo 04/10/1994 (Phil Hampel)

Current Photo – 11/05/2023 (author)



Historic Photo 22/11/2012 (Phil Hampel)



Building Notes	<p>160 Spring Bank was developed between 1853 and 1893 and forms part of a group along with No 162 Spring Bank. The building was originally designed as residential use and comprises of a two storey buff brick building with a two storey bay window and a gable dormer to the roof space accommodation. The building features lots of decorative details that are late Victorian details, with a greater level of decoration than earlier buildings. These features include a decorative brick arched entrance with a recessed entrance door and feature glazed tiles to the pilasters and a carved stone keystone. The entrance porch featured decorative glazed tiles to the threshold and side walls and a timber framed glazed screen and timber glazed entrance door. The bay window includes decorative double timber corbels and panelling. The first floor window has a brick arched lintel with a carved key stone. The roof level is highly decorative with a large carved stone corbel detail to the edge of the building and decorative timber supports to the eaves. The pitched gable features a decorative cut-out timber fascia and a spire to the ridge.</p> <p>The 1994 photograph shows that, at this time, the original timber sash windows were still in-situ. The timber framed glazed screen and entrance door is also retained in 1994.</p> <p>By 2012, the windows had been replaced with uPVC windows throughout (including the bay windows) and the timber screen and entrance door have been replaced with a uPVC door and screen. The spire to the gable ridge has lost its top section. The slate roof finish has also been removed and replaced with terracotta concrete pantiles.</p> <p>The building has not been subject to any Planning Application submissions.</p>
Monitoring Notes	<p>The building is in a generally good condition and has undergone regular maintenance. There are no risk items identified at this stage.</p>
Recommended Actions	<p>As part of a group along with 162, 160 would benefit from a collective approach to restoration. 160 has retained many of its original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the uPVC windows throughout and the replacement with timber sash windows to reflect the proportions of the 1994 photograph showing the original windows. • Removal of the paint to the Victorian tiles to the porch. • Reinstatement of the Victorian threshold tiles to the porch. • Removal of the uPVC door and glazed screen and replacement with a timber glazed screen and door to match the original design still retained at No 160. • Redecoration throughout with a consistent paint colour to both 158 and 160 as a group. • Repair of leadwork flashings to the bay window. • Repair of the timber spire to replace the top section. • Removal of PVC rainwater goods and replacement with cast iron. • Removal of the terracotta pantile roof and replacement with a slate roof finish. • Soft planting with the front garden.

Street: Spring Bank

162

Historic Photo 04/10/1994 (Phil Hampel)

Current Photo – 11/05/2023 (author)



Historic Photo 22/11/2012 (Phil Hampel)



Building Notes	<p>162 Spring Bank was developed between 1853 and 1893 and forms part of a group along with No 160 Spring Bank. The building was originally designed as residential use and comprises of a two storey buff brick building with a two storey bay window and a gable dormer to the roof space accommodation. The building features lots of decorative details that are late Victorian details, with a greater level of decoration than earlier buildings. These features include a decorative brick arched entrance with a recessed entrance door and feature glazed tiles to the pilasters and a carved stone keystone. The entrance porch featured decorative glazed tiles to the threshold and side walls and a timber framed glazed screen and timber glazed entrance door. The bay window includes decorative double timber corbels and panelling. The first floor window has a brick arched lintel with a carved key stone. The roof level is highly decorative with a large carved stone corbel detail to the edge of the building and decorative timber supports to the eaves. The pitched gable features a decorative cut-out timber fascia and a spire to the ridge.</p> <p>The 1994 photograph shows that, at this time, the original timber sash windows were still in-situ. The timber framed glazed screen and entrance door is also retained in 1994.</p> <p>By 2012, the windows had been replaced with uPVC windows throughout (including the bay windows). The timber screen and entrance door have been retained. The spire to the gable ridge has lost its top section. The slate roof finish has also been removed and replaced with terracotta concrete pantiles. The building has been converted from a single residential dwelling to apartments. The glazed tiles to the porch have been removed. The building has not been subject to any Planning Application submissions.</p>
Monitoring Notes	<p>The building is in a generally good condition and has undergone regular maintenance. As the only remaining building in the group with the original decorative timber framed glazed screen and timber glazed door in-situ, any proposals to remove the door and screen should not be supported.</p>
Recommended Actions	<p>162 has retained many of it's original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the uPVC windows throughout and the replacement with timber sash windows to reflect the proportions of the 1994 photograph showing the original windows. • Reinstatement of the Victorian tiles to the porch walls (to match those to 160 currently concealed). • Reinstatement of the Victorian threshold tiles to the porch. • Repair and redecoration of the timber glazed door and timber framed glazed screen. • Redecoration throughout. • Repair of leadwork flashings to the bay window. • Repair of the timber spire to replace the top section. • Removal of PVC rainwater goods and replacement with cast iron. • Removal of the terracotta pantile roof and replacement with a slate roof finish. • Installation of a boundary wall/iron railings consistent with No 160. • Soft planting with the front garden to conceal the various meter boxes from view.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 22/11/2012 (Phil Hampel)



Seymour House, 164

Current Photo – 11/05/2023 (author)



Building Notes	<p>164 Spring Bank was built between 1853 and 1893 and forms part of a group along with No 166 and 168 Spring Bank. The building was originally designed as a large single dwelling and comprises of a two storey buff brick building with a two storey bay window and a gable dormer to the roof space accommodation. The building features details including a decorative brick arched entrance with a recessed entrance door and a carved stone keystone. The entrance porch featured a timber framed glazed screen and timber glazed entrance door. The bay window includes decorative double timber corbels and pilasters. The first floor window has a brick arched lintel with a carved key stone. The roof level is highly decorative with timber supports to the eaves. The pitched gable features a decorative carved ties and a spire to the ridge. The 1905 photograph shows that the group originally had a low stone plinth and decorative iron railing to the front gardens with formal hedges providing privacy to the dwellings. The roof is slate and the rainwater goods would have been cast iron. During the 1990's the building change use from a single dwelling to a house of multiple occupancy, to two flats, to office to 5 self-contained flats.</p> <p>In 2008 the original timber sash windows were still in-situ to the upper floor levels with uPVC casement windows installed to the ground floor bay window. The timber framed glazed screen is also retained at this time although the front door had been replaced with a modern Victorian style timber door.</p> <p>By 2012, the windows had been replaced with new uPVC windows throughout (including the bay windows) and the building in use as apartments. The decorative timber pilasters to the bay window (still retained to No 168) have been removed during the replacement of the windows. The timber entrance screen has been retained. The spire to the gable ridge has been retained along with the slate roof finish although the cast iron rain water goods have been replaced with grey PVC.</p> <p>In 2023, the building continues to be in use as apartments. No further work has been undertaken since 2012. Staining behind the downpipe between 164 and 166 would suggest that the gutters and downpipes are defective and require repair.</p> <p>The building has been subject to the following Planning Application submissions:-</p> <p>1988 – Change of use from house of multiple occupancy to two self-contained flats and parking for 1 vehicle.(Ref No 88/01365/PF).</p> <p>1993 – Change of use from offices to dwelling house (Ref No: 93/00786/PF).</p> <p>1994 – Change of use from offices and flat into 5 self-contained flats involving laying out of car park to the rear (Ref No : 94/00750/PF).</p>
Monitoring Notes	<p>The building is generally in a reasonable condition although the removal of the boundary stone plinth, cast iron railings and hedge has a detrimental impact on the buildings setting. Any proposals to remove the retained Victorian glazed screen to the entrance should not be supported.</p>
Recommended Actions	<p>164 has retained many of it's original late Victorian features but would benefit from the following works :-</p>

- Removal of the uPVC windows throughout and the replacement with timber sash windows to reflect the proportions of the 1904 photograph showing the original windows.
- Reinstatement of the timber pilasters to the bay windows (to match 168).
- Repair and redecoration of the timber glazed screen and the replacement of the door with a new timber glazed door to match the original design with the central rail aligned with the retained glazed screen surround.
- Redecoration throughout with a lighter colour (currently black) to allow the detail at roof level to be clearly visible.
- Repair of leadwork flashings to the bay window.
- Repair of the timber spire to replace the top section.
- Removal of PVC rainwater goods and replacement with cast iron.
- Installation of a stone boundary plinth (to match 166) with iron railings.
- Soft planting to the front garden to provide privacy to the ground floor apartment and enhance the character of the Conservation Area.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 22/11/2012 (Phil Hampel)



166

Current Photo – 11/05/2023 (author)



Building Notes	<p>166 Spring Bank was built between 1853 and 1893 and forms part of a group along with No 164 and 168 Spring Bank. The building was originally designed as a large single dwelling and comprises of a two storey buff brick building with a two storey bay window and a gable dormer to the roof space accommodation. The building features details including a decorative brick arched entrance with a recessed entrance door and a carved stone keystone. The entrance porch featured a timber framed glazed screen and timber glazed entrance door. The bay window includes decorative double timber corbels and pilasters. The first floor window has a brick arched lintel with a carved key stone. The roof level is highly decorative with timber supports to the eaves. The pitched gable features a decorative carved ties and a spire to the ridge. The 1905 photograph shows that the group originally had a low stone plinth and decorative iron railing to the front gardens with formal hedges providing privacy to the dwellings. The roof is slate and the rainwater goods would have been cast iron. In 2008 the original timber sash windows were still in-situ to the upper floor levels with uPVC casement windows installed to the ground floor bay window. The timber framed glazed screen is also retained at this time although the front door had been replaced with a modern Victorian style timber door.</p> <p>Between 2010 and 2012, the windows had been replaced with new uPVC windows throughout (including the bay windows) and the building in use as 5 apartments. The decorative timber pilasters to the bay window (still retained to No 168) have been removed during the replacement of the windows. The timber entrance screen has been retained. The spire to the gable ridge has been retained along with the slate roof finish although the cast iron rain water goods have been replaced with grey PVC. This stage of development is likely to coincide with the conversion of the adjacent 164 Spring Bank which has the same details and colour scheme. The stone plinth has been retained to the front garden but the railings and hedge have been removed.</p> <p>In 2023, the building continues to be in use as apartments. No further work has been undertaken since 2012. Staining behind the downpipe between 164 and 166 would suggest that the gutters and downpipes are defective and require repair.</p> <p>The building has been subject to the following Planning Application submissions:- 1994 – Change of use from offices and flat into 5 self-contained flats involving laying out of car park to the rear (Ref No : 94/00654/PF).</p>
Monitoring Notes	<p>The building is generally in a reasonable condition although the removal of the cast iron railings and hedge has a detrimental impact on the buildings setting. Any proposals to remove the retained Victorian glazed screen to the entrance should not be supported.</p>
Recommended Actions	<p>166 has retained many of its original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the uPVC windows throughout and the replacement with timber sash windows to reflect the proportions of the 1904 photograph showing the original windows. • Reinstatement of the timber pilasters to the bay windows (to match 168).

- Repair and redecoration of the timber glazed screen and the replacement of the door with a new timber glazed door to match the original design with the central rail aligned with the retained glazed screen surround.
- Redecoration throughout with a lighter colour (currently black) to allow the detail at roof level to be clearly visible.
- Repair of leadwork flashings to the bay window.
- Repair of the timber spire and restraint ties.
- Removal of PVC rainwater goods and replacement with cast iron.
- Repair of the stone boundary plinth (to match 166) and reinstate iron railings.
- Soft planting to the front garden to provide privacy to the ground floor apartment and enhance the character of the Conservation Area.

Street: Spring Bank

168

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)

Current Photo – 11/05/2023 (author)



Historic Photo 22/11/2012 (Phil Hampel)



Building Notes

168 Spring Bank was built between 1853 and 1893 and forms part of a group along with No 164 and 166 Spring Bank. The building was originally designed as a large single dwelling and comprises of a two storey buff brick building with a two storey bay window and a gable dormer to the roof space accommodation. Unlike No 164 and 166, the main entrance to 168 is accessed from the side elevation off Albany Street. A decorative projecting timber entrance porch marks the entrance which is positioned centrally to the elevation with an arched timber detail above the double door entrance porch and decorative corbel details and pilasters. The two storey bay window to the Spring Bank elevation includes decorative double timber corbels and pilasters. A further single storey bay window is located on the Albany Street elevation. The first floor windows have brick arched lintels with carved key stones. The roof level is highly decorative with timber supports to the eaves. The pitched gable to the Spring Bank frontage features decorative carved ties and a spire to the ridge. The 1905 photograph shows that the group originally had a low stone plinth and decorative iron railing to the front gardens with formal hedges providing privacy to the dwellings. The roof is slate and the rainwater goods would have been cast iron.

The building was used as a Doctors Surgery until 2006 when the building was sold and redeveloped with a change of use to create 7 apartments. In 2008 the original timber sash windows were replaced with uPVC casement windows installed without prior approval. Following a retrospective application and appeal, the application was refused and the uPVC casement windows replaced with uPVC sash windows.

The spire to the gable ridge has been retained along with the slate roof finish although the cast iron rain water goods have been replaced with grey PVC. The stone plinth has been retained to the front garden along with the railings and hedge.

In 2023, the building continues to be in use as apartments. No further work has been undertaken since the 2008 redevelopment.

The building has been subject to the following Planning Application submissions:-

1985 – Demolition of rear outbuilding and erection of single storey extension to doctor's surgery and alternation of door to windows on existing side elevation. (Ref No : 85/01176/PF).

2002 – Conversion of coach house to form consulting room, computer room, conference room and stores in association with existing doctors surgery. (91/00837/PF).

2002 – Erection of relocatable building to provide temporary accommodation to consulting room. (Ref No : 02/00781/PF).

2007 – Change of use from doctor's surgery and flat to 7 self contained flats (07/00734/COU).

2008 – Retention of replacement uPVC windows and installation of replacement uPVC windows (application refused).

2009 – Installation of replacement uPVC sliding sash windows (revised submission) Application permitted. (09/01026/FULL).

Monitoring Notes	The building is generally in a reasonable condition with no immediate risks identified. Any proposals to remove the retained pilaster details to the bay windows and decorative details to the entrance doors should not be permitted.
Recommended Actions	<p>168 has retained many of its original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the uPVC windows throughout and the replacement with timber sash windows to reflect the proportions of the 1904 photograph showing the original windows. • Redecoration throughout. • Repair of the timber spire and restraint ties. • Removal of the grey PVC rainwater goods, re-routing, to the Albany Street elevation and replacement with cast iron.

Street: Spring Bank	Aberdeen House, 170
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)	Current Photo – 11/05/2023 (author)
	
Historic Photo 04/10/1994 (Phil Hampel)	
	
Building Notes	170 Spring Bank was built between 1853 and 1893 and forms part of a group along with No 172, 174, 176 and 178 Spring Bank. The building was originally designed as a large residential villa and comprises of a two storey buff brick building with a two storey bay window and a gable dormer to the roof space accommodation. Unlike

No 172-178, the main entrance to 170 would have been accessed from the side elevation off Albany Street. The 1905 photograph shows the original design of the group of villas with highly decorative two storey bay windows and front gardens with low stone plinths, cast iron railings and hedge planting to the perimeter. Other features include the arched windows to the first floor level with contrasting red, buff and grey brick arched lintels and carved stone keystone. A large decorative arched door opening was located at the Albany Street frontage with the contrasting grey, red and buff bricks used to the archway. Contrasting red and grey brick courses are also used to define the level of the first floor window cill, grouping together the windows horizontally. The roof finish was slate and the eaves level had decorative timber eaves supports. The pitched gable had a decorative cut-out timber fascia at the eaves and a feature spire at the ridge.

During the late 1900's, the buildings use was changed from residential use to offices, requiring various alterations to the frontage. At this point No 170 and 172 were joined together on both ground and first floor level and the front gardens removed. The 1994 photograph shows the alterations made during this time. The ground floor of the bay windows were removed and a new red brick frontage installed to provide a more open frontage to the street. A new door and glazed screen was installed into the main entrance of Albany Street with a dark stained timber finish. This new entrance involved the installation of a new stone lintel with brickwork above, infilling the curved section of the arched opening. By this time, modernisation of the frontage had been undertaken, removing or concealing many of the decorative features. A new fascia had been installed to conceal the decorative cut-out timber fascia to the feature gable, the spire has been cutdown and a fascia applied over the decorative timber eaves supports/corbels. Many of the details to the bay window had also been concealed behind a new fascia. The windows had been replaced throughout with uPVC windows that do not reflect the original window proportions. The slate roof tiles were removed and replaced with concrete pantiles and PVC rainwater goods installed.

In 2011 the use of the building was changed to a Nursery which operated until 2021 when it was converted to retail use with 4 self-contained flats above. The large signage fascia that runs along both the Spring Bank and part Albany Street frontage was installed at this time. A low quality permanent metal awning has since been installed to the Spring Bank frontage 2022.

The building has been subject to the following Planning Application submissions:-

- 1992 – Alterations to property involving installation of new entrance doors in front elevation and removal of ground floor window in east elevation (Ref No 92/00551/PF)
- 2011 – Change of use from offices to shop (A1 use) on ground floor and 4 self-contained flats on upper floors (Ref No 11/00312/COU) Permitted
- 2011 – Change of use from offices to children's nursery (Use Class D1) with outdoor play area (Ref No : 11/00741/COU) Permitted

	<ul style="list-style-type: none"> • 2011 – Installation of access ramp with associated metal balustrade to main entrance on Albany Street and replacement uPVC windows to front and side elevations. • 2023 – Installation of ATM (pending)
Monitoring Notes	The building is generally in a reasonable condition with no immediate risks identified. Any proposals to remove the retained (but concealed) bay windows and decorative details along with the removal of contrasting brickwork, stone carved keystones, cut-out timber fascia to the feature gable and decorative timber eaves supports should not be permitted.
Recommended Actions	<p>As part of a group of buildings along with 172, 174, 176 and 178, they would benefit from a collective restoration as a group.</p> <p>170 has retained many of its original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the low quality metal awning to the Spring Bank frontage and the installation of new retractable awnings. • Removal of the uPVC windows throughout and the replacement with timber sash windows to reflect the proportions of the 1904 photograph showing the original windows. • Removal of the fascias to the decorative cut-out timber gable fascia to match the retained detail to 178. • Reinstatement of the decorative timber spire (to match the retained detail at 178). • Removal of the eaves level fascia, repair of the decorative eaves supports and the replacement of PVC rainwater goods with cast iron. • Removal of the PVC cladding to the bay windows to reveal the decorative details. • Redecoration throughout. • Removal of the large fascia sign and installation of a more suitable sign limited to the later addition brickwork frontage only. • Rationalisation of services generally to remove/relocate service conduits, alarm boxes, etc.

Street: Spring Bank	Preston Villa, 172
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)	Current Photo – 11/05/2023 (author)
	
Historic Photo 04/10/1994 (Phil Hampel)	
	
Building Notes	172 Spring Bank was built between 1853 and 1893 and forms part of a group along with No 170, 174, 176 and 178 Spring Bank. The building was originally designed as a large residential villa and comprises of a two storey buff brick building with a two storey bay window and a gable dormer to the roof space accommodation. The

1905 photograph shows the original design of the group of villas with highly decorative two storey bay windows and front gardens with low stone plinths, cast iron railings and hedge planting to the perimeter. Other features include the arched windows to the first floor level with contrasting red, buff and grey brick arched lintels and carved stone keystone. Contrasting red and grey brick courses are also used to define the level of the first floor window cill, grouping together the windows horizontally across the group. The roof finish was slate and the eaves level had decorative timber eaves supports. The pitched gable had a decorative cut-out timber fascia at the eaves and a feature spire at the ridge.

During the late 1900's, the buildings use was changed from residential use to offices, requiring various alterations to the frontage. At this point No 170 and 172 were joined together on both ground and first floor level and the front gardens removed. The 1994 photograph shows the alterations made during this time. The ground floor of the bay windows were removed and a new red brick frontage installed to provide a more open frontage to the street. By this time, modernisation of the frontage had been undertaken, removing or concealing many of the decorative features. A new fascia had been installed to conceal the decorative cut-out timber fascia to the feature gable, the spire has been cutdown and a fascia applied over the decorative timber eaves supports/corbels. Many of the details to the bay window had also been concealed behind a new fascia. The windows had been replaced throughout with uPVC windows that do not reflect the original window proportions. The slate roof tiles were removed and replaced with concrete pantiles and PVC rainwater goods installed.

In 2011 the use of the building was changed to a Nursery which operated until 2021 when it was converted to retail use with 4 self-contained flats above. The large signage fascia that runs along both the Spring Bank and part Albany Street frontage was installed at this time. A low quality permanent metal awning has since been installed to the Spring Bank frontage 2022.

The building has been subject to the following Planning Application submissions:-

- 1992 – Alterations to property involving installation of new entrance doors in front elevation and removal of ground floor window in east elevation (Ref No 92/00551/PF)
- 2011 – Change of use from offices to shop (A1 use) on ground floor and 4 self-contained flats on upper floors (Ref No 11/00312/COU) Permitted
- 2011 – Change of use from offices to children's nursery (Use Class D1) with outdoor play area (Ref No : 11/00741/COU) Permitted
- 2011 – Installation of access ramp with associated metal balustrade to main entrance on Albany Street and replacement uPVC windows to front and side elevations.
- 2023 – Installation of ATM (pending)

Monitoring Notes

The building is generally in a reasonable condition with no immediate risks identified. Any proposals to remove the retained (but concealed) bay windows and decorative details along with the removal of contrasting

	brickwork, stone carved keystones, cut-out timber fascia to the feature gable and decorative timber eaves supports should not be permitted.
Recommended Actions	<p>As part of a group of buildings along with 170, 174, 176 and 178, they would benefit from a collective restoration as a group.</p> <p>172 has retained many of its original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the low quality metal awning to the Spring Bank frontage and the installation of new retractable awnings. • Removal of the uPVC windows throughout and the replacement with timber sash windows to reflect the proportions of the 1904 photograph showing the original windows. • Removal of the fascias to the decorative cut-out timber gable fascia to match the retained detail to 178. • Reinstatement of the decorative timber spire (to match the retained detail at 178). • Removal of the eaves level fascia, repair of the decorative eaves supports and the replacement of PVC rainwater goods with cast iron. • Removal of the PVC cladding to the bay windows to reveal the decorative details. • Redecoration throughout. • Removal of the large fascia sign and installation of a more suitable sign limited to the later addition brickwork frontage only. • Rationalisation of services generally to remove/relocate service conduits, alarm boxes, etc.

Street: Spring Bank	Leicester Villa, 174
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)	Current Photo – 11/05/2023 (author)
	
Historic Photo 22/11/2012 (Phil Hampel)	
	
Building Notes	174 Spring Bank was built between 1853 and 1893 and forms part of a group along with No 170, 172, 176 and 178 Spring Bank. The building was originally designed as a large residential villa and comprises of a two storey buff brick building with a two storey bay window and a gable dormer to the roof space accommodation. The 1905 photograph shows the original design of the group of villas with highly decorative two storey bay windows

	<p>and front gardens with low stone plinths, cast iron railings and hedge planting to the perimeter. Other features include the arched windows to the first floor level with contrasting red, buff and grey brick arched lintels and carved stone keystone. Contrasting red and grey brick courses are also used to define the level of the first floor window cill, grouping together the windows horizontally across the group. The roof finish was slate and the eaves level had decorative timber eaves supports. The pitched gable had a decorative cut-out timber fascia at the eaves and a feature spire at the ridge.</p> <p>The building has retained its residential use and has retained many of the original features, although some of these features have been concealed. The 2012 photograph shows that the timber sash windows and decorative pilasters to the bay windows on both levels have been removed and any retained features to the bay window concealed by horizontal uPVC cladding. The decorative timber eaves supports have been concealed behind new PVC fascias. The cut-out timber fascia to the gable have been concealed behind a uPVC fascia and the spire has been removed. The glazed tiles to the entrance porch have been retained, but painted over. The arched entrance with the highly decorative stone carved Corinthian details have been retained and the timber framed glazed screen to the entrance door is retained (although the door has been replaced with a modern door).</p> <p>The building has been subject to the following Planning Application submissions:-</p> <ul style="list-style-type: none"> • 2009 – Change of use from dwelling house to ground floor shop unit, first floor residence and second floor store room, involving installation of new shopfront. • 2023 – Change of use of residence to pre-school nursery
<p>Monitoring Notes</p>	<p>The building is generally in a reasonable condition with no immediate risks identified. As the last remaining building within the group still in use as residential, 174 is the only building that has retained most of the historical details. Any proposals to remove the retained (but concealed) bay window details along with the removal of contrasting brickwork, stone carved keystones, Corinthian details to entrance arch, glazed timber framed screen to the entrance door, Victorian tiles to the porch, cut-out timber fascia to the feature gable and decorative timber eaves supports should not be permitted.</p>
<p>Recommended Actions</p>	<p>As part of a group of buildings along with 170, 172, 176 and 178, they would benefit from a collective restoration as a group.</p> <p>174 has retained many of its original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the uPVC windows throughout and the replacement with timber sash windows to reflect the proportions of the 1904 photograph showing the original windows. • Removal of the fascias to the decorative cut-out timber gable fascia to match the retained detail to 178. • Reinstatement of the decorative timber spire (to match the retained detail at 178). • Removal of the eaves level fascia, repair of the decorative eaves supports and the replacement of PVC rainwater goods with cast iron.

- Removal of the PVC cladding to the bay windows to reveal the decorative details and reinstate decorative pillasters.
- Redecoration throughout.
- Removal of the paint to the glazed tiles in the entrance porch.

Street: Spring Bank	Melrose Villa, 176
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)	Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)



Building Notes	176 Spring Bank was built between 1853 and 1893 and forms part of a group along with No 170, 172, 174 and 178 Spring Bank. The building was originally designed as a large residential villa and comprises of a two storey buff brick building with a two storey bay window and a gable dormer to the roof space accommodation. The
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	<p>1905 photograph shows the original design of the group of villas with highly decorative two storey bay windows and front gardens with low stone plinths, cast iron railings and hedge planting to the perimeter. Other features include the arched windows to the first floor level with contrasting red, buff and grey brick arched lintels and carved stone keystone. Contrasting red and grey brick courses are also used to define the level of the first floor window cill, grouping together the windows horizontally across the group. The roof finish was slate and the eaves level had decorative timber eaves supports. The pitched gable had a decorative cut-out timber fascia at the eaves and a feature spire at the ridge.</p> <p>The building has retained many of the original features, although some of these features have been concealed. The 1994 photograph shows that the timber sash windows and decorative pilasters to the bay windows on both levels have been removed and replaced with uPVC windows and any retained features to the bay window concealed by horizontal uPVC cladding. The ground floor bay has been replaced with a new shopfront, whilst retaining the original residential entrance to gain access to the first floor apartment. The glazed tiles to the entrance porch have been retained, but painted over. The arched entrance with the highly decorative stone carved Corinthian details have been retained and the timber framed glazed screen and the original timber door is retained. The slate roof tiles have been removed and replaced with terracotta coloured concrete pantiles. In 2023, further works have been undertaken to modernise the shopfront with the installation of a new metal framed shopfront and retractable awning. Large illuminated fascia signs and a projecting sign have been installed. The decorative timber eaves supports have been concealed behind new PVC fascias. The cut-out timber fascia to the gable have been concealed behind a uPVC fascia and the top section of the spire has been removed. PVC rainwater goods have been installed to replace the original cast iron.</p> <p>The building has been subject to the following Planning Application submissions:-</p> <ul style="list-style-type: none"> • 1987 – Change of use of ground floor flat to shop unit with associated staff accommodation, installation of new shopfront and removal of rear ground floor bay window • 1989 – Change of use from dwelling house to ground floor restaurant, first floor residence and second floor store room, erection of single storey rear extension and erection of new shopfront extension.
Monitoring Notes	<p>The building is generally in a reasonable condition with no immediate risks identified. Any proposals to remove the retained (but concealed) bay window details along with the removal of contrasting brickwork, stone carved keystones, Corinthian details to entrance arch, glazed timber framed screen and original entrance door, Victorian tiles to the porch, cut-out timber fascia to the feature gable and decorative timber eaves supports should not be permitted.</p>
Recommended Actions	<p>As part of a group of buildings along with 170, 172, 174 and 178, they would benefit from a collective restoration as a group.</p> <p>176 has retained many of its original late Victorian features but would benefit from the following works :-</p>

- Removal of the uPVC windows throughout and the replacement with timber sash windows to reflect the proportions of the 1904 photograph showing the original windows.
- Removal of the fascias to the decorative cut-out timber gable fascia to match the retained detail to 178.
- Repair of the decorative timber spire (to match the retained detail at 178).
- Removal of the eaves level fascia, repair of the decorative eaves supports and the replacement of PVC rainwater goods with cast iron.
- Removal of the PVC cladding to the bay windows to reveal the decorative details and reinstate decorative pilasters.
- Redecoration throughout.
- Removal of the paint to the glazed tiles in the entrance porch.
- Reduction in the extent of signage.

Street: Spring Bank **Rosemount Villa, 178**

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)

Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)



Building Notes 178 Spring Bank was built between 1853 and 1893 and forms part of a group along with No 170, 172, 174 and 176 Spring Bank. The building was originally designed as a large residential villa and comprises of a two storey buff brick building with a two storey bay window and a gable dormer to the roof space accommodation. The 1905 photograph shows the original design of the group of villas with highly decorative two storey bay windows

	<p>and front gardens with low stone plinths, cast iron railings and hedge planting to the perimeter. Other features include the arched windows to the first floor level with contrasting red, buff and grey brick arched lintels and carved stone keystone. Contrasting red and grey brick courses are also used to define the level of the first floor window cill, grouping together the windows horizontally across the group. The roof finish was slate and the eaves level had decorative timber eaves supports. The pitched gable had a decorative cut-out timber fascia at the eaves and a feature spire at the ridge.</p> <p>The building has retained many of the original features, although some of these features have been concealed. The 1994 photograph shows that the timber sash windows and decorative pilasters to the bay windows on both levels have been removed and replaced with uPVC windows and any retained features to the bay window concealed by horizontal uPVC cladding. The ground floor bay has been replaced with a new shopfront, whilst retaining the original residential entrance to gain access to the first floor apartment. The glazed tiles to the entrance porch have been retained, but painted over. The arched entrance with the highly decorative stone carved Corinthian details have been retained and the timber framed glazed screen and the original timber door is retained. The slate roof tiles have been removed and replaced with grey concrete pantiles.</p> <p>In 2020, an application was approved to remove the retail unit and convert the building into 5 apartments. This has not yet been implemented.</p> <p>In 2023, further works have been undertaken to modernise the shopfront with the installation of a new metal framed shopfront and a low quality permanent metal awning. Large fascia signs have been installed. The decorative timber eaves supports have been retained and are still visible but require some repairs. The cut-out timber fascia to the gable has been retained and not concealed but has had some temporary repair works undertaken. Repair works are required to these to prevent further damage or health and safety risk. The spire has been retained and is complete. PVC rainwater goods have been installed to replace the original cast iron.</p> <p>The building has been subject to the following Planning Application submissions:-</p> <ul style="list-style-type: none"> • Change of use of shop and 3 flats to 5 (1 bed) flats and associated external alterations including removal of existing shop front and reinstatement of ground floor bay window. (Ref No: 19/01032/FULL) Approved.
Monitoring Notes	<p>The building is generally in a reasonable condition with no immediate risks identified. Any proposals to remove the retained (but concealed) bay window details along with the removal of contrasting brickwork, stone carved keystones, Corinthian details to entrance arch, glazed timber framed screen and original entrance door, Victorian tiles to the porch, cut-out timber fascia to the feature gable and decorative timber eaves supports should not be permitted.</p>
Recommended Actions	<p>As part of a group of buildings along with 170, 172, 174 and 178, they would benefit from a collective restoration as a group.</p> <p>176 has retained many of its original late Victorian features but would benefit from the following works :-</p>

- Removal of the uPVC windows throughout and the replacement with timber sash windows to reflect the proportions of the 1904 photograph showing the original windows.
- Removal of the fascias to the decorative cut-out timber gable fascia to match the retained detail to 178.
- Repair of the decorative timber spire (to match the retained detail at 178).
- Removal of the eaves level fascia, repair of the decorative eaves supports and the replacement of PVC rainwater goods with cast iron.
- Removal of the PVC cladding to the bay windows to reveal the decorative details and reinstate decorative pilasters.
- Redecoration throughout.
- Removal of the paint to the glazed tiles in the entrance porch.
- Reduction in the extent of signage.

Street: Spring Bank **Rosemount Villa, 178**

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)

Current Photo – 11/05/2023 (author)



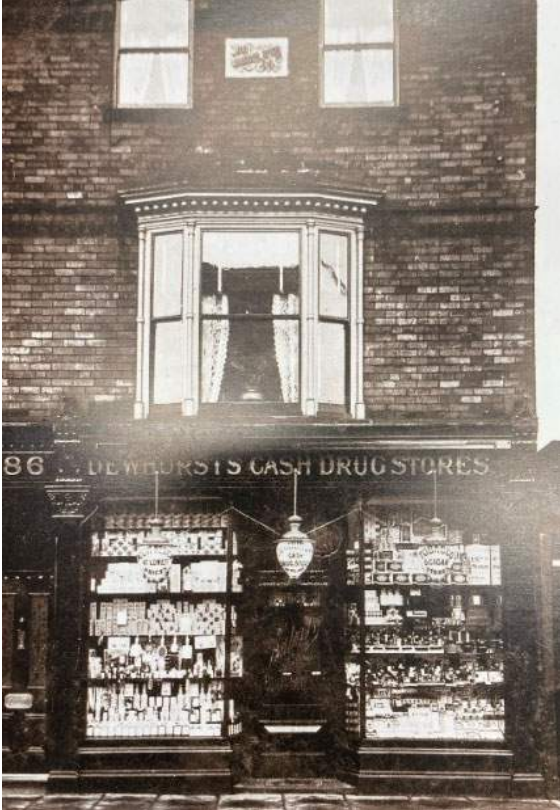

Historic Photo 04/10/1994 (Phil Hampel)



Building Notes 178 Spring Bank was built between 1853 and 1893 and forms part of a group along with No 170, 172, 174 and 176 Spring Bank. The building was originally designed as a large residential villa and comprises of a two storey buff brick building with a two storey bay window and a gable dormer to the roof space accommodation. The 1905 photograph shows the original design of the group of villas with highly decorative two storey bay windows


	<p>and front gardens with low stone plinths, cast iron railings and hedge planting to the perimeter. Other features include the arched windows to the first floor level with contrasting red, buff and grey brick arched lintels and carved stone keystone. Contrasting red and grey brick courses are also used to define the level of the first floor window cill, grouping together the windows horizontally across the group. The roof finish was slate and the eaves level had decorative timber eaves supports. The pitched gable had a decorative cut-out timber fascia at the eaves and a feature spire at the ridge.</p> <p>The building has retained many of the original features, although some of these features have been concealed. The 1994 photograph shows that the timber sash windows and decorative pilasters to the bay windows on both levels have been removed and replaced with uPVC windows and any retained features to the bay window concealed by horizontal uPVC cladding. The ground floor bay has been replaced with a new shopfront, whilst retaining the original residential entrance to gain access to the first floor apartment. The glazed tiles to the entrance porch have been retained, but painted over. The arched entrance with the highly decorative stone carved Corinthian details have been retained and the timber framed glazed screen and the original timber door is retained. The slate roof tiles have been removed and replaced with grey concrete pantiles.</p> <p>In 2020, an application was approved to remove the retail unit and convert the building into 5 apartments. This has not yet been implemented.</p> <p>In 2023, further works have been undertaken to modernise the shopfront with the installation of a new metal framed shopfront and a low quality permanent metal awning. Large fascia signs have been installed. The decorative timber eaves supports have been retained and are still visible but require some repairs. The cut-out timber fascia to the gable has been retained and not concealed but has had some temporary repair works undertaken. Repair works are required to these to prevent further damage or health and safety risk. The spire has been retained and is complete. PVC rainwater goods have been installed to replace the original cast iron.</p> <p>The building has been subject to the following Planning Application submissions:-</p> <ul style="list-style-type: none"> • Change of use of shop and 3 flats to 5 (1 bed) flats and associated external alterations including removal of existing shop front and reinstatement of ground floor bay window. (Ref No: 19/01032/FULL) Approved.
Monitoring Notes	<p>The building is generally in a reasonable condition with no immediate risks identified. Any proposals to remove the retained (but concealed) bay window details along with the removal of contrasting brickwork, stone carved keystones, Corinthian details to entrance arch, glazed timber framed screen and original entrance door, Victorian tiles to the porch, cut-out timber fascia to the feature gable and decorative timber eaves supports should not be permitted.</p>
Recommended Actions	<p>As part of a group of buildings along with 170, 172, 174 and 178, they would benefit from a collective restoration as a group.</p> <p>176 has retained many of its original late Victorian features but would benefit from the following works :-</p>

- Removal of the uPVC windows throughout and the replacement with timber sash windows to reflect the proportions of the 1904 photograph showing the original windows.
- Removal of the fascias to the decorative cut-out timber gable fascia to match the retained detail to 178.
- Repair of the decorative timber spire (to match the retained detail at 178).
- Removal of the eaves level fascia, repair of the decorative eaves supports and the replacement of PVC rainwater goods with cast iron.
- Removal of the PVC cladding to the bay windows to reveal the decorative details and reinstate decorative pilasters.
- Redecoration throughout.
- Removal of the paint to the glazed tiles in the entrance porch.
- Reduction in the extent of signage.

Street:	Spring Bank	George's Bargains & Georges Removals, Horwood House, 180-186	
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)		Historic Photo 26/04/2010 (Phil Hampel)	Current Photo – 11/05/2023 (author)
			
Building Notes	<p>186 Spring Bank was built in 1889 (see stone plaque), built slightly later than the adjacent 188 Spring Bank. The building was originally designed as a retail unit with two storey residential use above. The building comprises of a three storey red brick building with decorative brickwork/terracotta feature string course, a projecting bay window at first floor and flattened arched windows with stone carved keystones and decorative brick cills. The 1904 photograph shows that the ground floor had a highly decorative shop frontage with a central recessed door to the shop and a second side door to the LHS to the residential unit above. The shopfront had a low stone stall riser with elegant and decorative mullions along with three large suspended light fittings. The first</p>		

	<p>floor bay window had decorative bauble details to the eaves, and decorative pilasters with turned details.</p> <p>Historical plans illustrate that 180-184 Spring Bank have not been developed in the past and were within the boundary of No 186 Spring Bank.</p> <p>By 2012, the original Victorian shopfront has been removed and replaced with a low quality timber shopfront with a central entrance door. The second floor timber sash windows have been removed and replaced with new timber casement windows. The decorative bay window details have been retained.</p> <p>Today, in 2023, the brickwork to the upper levels has been painted and the shopfront has been replaced again with a new metal framed shopfront. The windows to the upper floor levels have been removed, along with the timber pilaster details to the bay windows and the windows and frames replaced with uPVC windows that do not reflect the original design.</p> <p>The building has been subject to the following Planning Application submissions:-</p> <ul style="list-style-type: none"> • 1985 - Use of first floor and second floors as office accommodation and workshop (85/00147/PF). • 1986 – Change of use of part of ground-floor from retail and workshop to retail use only. (86/00152/PF) • 1987 – Erection of buildings for use as shops and flats and construction of new vehicular access (outline) 87/00655/PF) • 1989 – Erection of single storey side extension to form a new shop unit and construction of new vehicular access and boundary wall and use of land for car parking. (89/00240/PF) Refused. • 1991 – Change of use from ground floor retail shop to self drive vehicle rental office together with provision for 10 parking spaces on adjacent yard. (91/00188/PF) Refused.
<p>Monitoring Notes</p>	<p>The building is generally in a reasonable condition with no immediate risks identified. Any proposals to remove the retained bay window details along with the removal of terracotta feature details, stone carved keystones should not be permitted.</p>
<p>Recommended Actions</p>	<p>186 has retained many of its original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the uPVC windows throughout and the replacement with timber sash windows to reflect the proportions of the 1904 photograph showing the original windows.

- Removal of the existing modern shopfront and reinstatement of the original shopfront design including high quality timber glazed doors to the retail unit and residential unit above as shown in the 1904 photograph.
- Removal of the paint finish to the brickwork to fully reveal the quality of the brickwork.
- Removal of PVC rainwater goods and replacement with cast iron.
- Removal of the PVC cladding to the bay windows to reveal the decorative details and reinstate decorative pilasters.
- Redecoration throughout.
- Rationalisation of services including alarm boxes, satellite dishes, etc.

Street: Spring Bank	World of Fruit & Vegetables, 188
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)	Current Photo – 11/05/2023 (author)
	
Historic Photo 16/05/2000 (Phil Hampel)	
	
Building Notes	182 Spring Bank was built between 1853 and 1889 and forms part of a group along with No 190 and 192 Spring Bank directly adjacent. The building is also part of a wider group with No 194, 196 and 198 which have the same detailing and together frame the entrance into Mayfield Street. The building was originally designed as a retail unit with two storey residential use above. The building comprises of a three storey red brick building

	<p>with decorative features including vertical pilasters between each building in the group, decorative plaster arched lintels and pilasters to the first floor windows and flattened plaster stone lintels to the second floor level. The 1904 photograph shows that the shop had a retractable awning. Windows were timber sliding sash windows and the eaves level featured a decorative frieze and timber eaves supports. The roof finish was slate and rainwater goods would have been cast iron.</p> <p>By 2000, the original Victorian shopfront has been removed and replaced with a low quality timber shopfront with a central entrance door. The first and second floor timber sash windows have been removed and replaced with new uPVC windows. The slate roof tiles have been removed and replaced with grey colour concrete pantile roof tiles.</p> <p>Today, in 2023, the gutters and downpipes have been replaced with PVC and a low quality permanent metal awning has been added to the street frontage. Damage has occurred to the LHS pilaster at first floor level. The building has not been subject to any Planning Application submissions.</p>
Monitoring Notes	<p>The building is generally in a reasonable condition with no immediate risks identified. Any proposals to remove the retained details including the vertical pilasters between buildings, the decorative plaster/stone lintels and surrounds to the upper floor windows should not be permitted.</p>
Recommended Actions	<p>As part of a group of buildings along with 190 and 192, 194, 196 and 198 they would benefit from a collective restoration as a group.</p> <p>188 has retained many of its original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the uPVC windows throughout and the replacement with timber sash windows. • Removal of the fascias at eaves level and the reinstatement/repair of the decorative frieze and timber eaves supports. • Replacement of PVC rainwater goods with cast iron. • Repair of the vertical pilasters where damaged. • Removal of the pantile roof tiles and replacement with slate tiles. • Removal of the low quality timber shopfront and vinyl signage fascia and replacement with a new, high quality timber shopfront with fully integrated design including a retractable awning. • Removal of the permanent metal awning and replacement with an integrated retractable awning. • Redecoration throughout.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 16/05/2000 (Phil Hampel)



William Hill, 190-192

Current Photo – 11/05/2023 (author)



Building Notes

190-192 Spring Bank was built between 1853 and 1889 and forms part of a group along with No 188 Spring Bank directly adjacent. The building is also part of a wider group with No 194, 196 and 198 which have the

	<p>same detailing and together frame the entrance into Mayfield Street. The building was originally designed as two separate retail units with two storey residential use above. The buildings comprise of a three storey red brick building with decorative features including vertical pilasters between each building in the group, decorative plaster arched lintels and pilasters to the first floor windows and flattened arched plaster lintels to the second floor level. The 1904 photograph shows that the shops had a retractable awnings. Windows were timber sliding sash windows and the eaves level featured a decorative frieze and timber eaves supports. The roof finish was slate and rainwater goods would have been cast iron. The 1904 photograph also shows that 194 Spring Bank had a feature gable to the roof level on the corner of Mayfield Street which would have been replicated to the corner of No 192.</p> <p>By 2000, the two separate buildings had been combined. In 2000 permission was granted for the installation of a new shopfront (as shown in 2000 photograph) and the original Victorian shopfront was removed and replaced with a low quality metal shopfront with the door to the retail unit on the corner. The first and second floor timber sash windows have been removed and replaced with new uPVC windows. The slate roof tiles have been removed and replaced with terracotta colour concrete pantile roof tiles. The feature gable to the corner at eaves level has been reduced in height and the upper pointed section removed.</p> <p>Today, in 2023, the gutters and downpipes have been replaced with PVC.</p> <p>The building has been subject to the following Planning Application submissions:-</p> <ul style="list-style-type: none"> • 2000 – Installation of new shop front (Ref No : 00/00355/PF)
Monitoring Notes	<p>The building is generally in a reasonable condition with no immediate risks identified. There are signs of considerable structural movement to the wall between 190 and 192. Cement mortar repairs and repointing to brickwork is damaging and should be removed. Any proposals to remove the retained details including the vertical pilasters between buildings, the decorative plaster/stone lintels and surrounds to the upper floor windows should not be permitted.</p>
Recommended Actions	<p>As part of a group of buildings along with 188, 194, 196 and 198, they would benefit from a collective restoration as a group.</p> <p>190 and 192 have retained many of their original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Reinstatement of the upper section of the feature gable at roof level on the corner of Mayfield Street with restraint support ties back to the primary roof structure. • Removal of the uPVC windows throughout and the replacement with timber sash windows. • Removal of the fascias at eaves level and the reinstatement/repair of the decorative frieze and timber eaves supports. • Replacement of PVC rainwater goods with cast iron.

- Repair of the vertical pilasters and plasterwork generally where damaged/deteriorated.
- Removal of the low quality timber shopfront and vinyl signage fascia and replacement with a new, high quality timber shopfront with fully integrated design including a retractable awning (if required).
- Removal of poor quality cement mortar repairs and repointing to brickwork and repair and repointing in a lime mortar.
- Removal of the pantile roof tiles and replacement with slate tiles.
- Redecoration throughout.
- Rationalisation of all services, antennas, alarm boxes, lighting, etc.

<p>Street: Spring Bank</p> <p>Historic Photo – 1904 (Hull Then and Now, Paul Gibson)</p>	<p>Paradise Mini Market, 194</p> <p>Current Photo – 11/05/2023 (author)</p>
	
<p>Historic Photo 26/04/2010 (Phil Hampel)</p>	
	
<p>Building Notes</p>	<p>194 Spring Bank was built between 1853 and 1889 and forms part of a group along with No 196 and 198 Spring Bank directly adjacent. The building is also part of a wider group with No 190, 192 and 194 which have</p>

the same detailing and together frame the entrance into Mayfield Street. The building was originally designed as a retail unit with two storey residential use above. The building comprises of a three storey red brick building with decorative features including vertical pilasters between each building in the group, decorative plaster arched lintels and pilasters to the first floor windows and flattened arched plaster lintels to the second floor level. The 1904 photograph shows that the shops had a retractable awnings. Windows were timber sliding sash windows and the eaves level featured a decorative frieze and timber eaves supports. The roof finish was slate and rainwater goods would have been cast iron. The 1904 photograph also shows that 194 Spring Bank had a feature gable to the roof level on the corner of Mayfield Street which would have been replicated to the corner of No 192.

In 2001 applications were made for retention of a new shopfront, the installation of new windows and the installation of roller shutters (possible retrospective applications). The 2010 photograph shows the works that were undertaken at the time when the retail unit was occupied by Age Concern. These works include the rendering of the upper floor level elevations, the removal of the first floor arched window openings and associated plaster details to combine the windows to form one large window opening, the removal of the plaster details and arched openings to the second floor level windows and the removal of the earlier shopfront and installation of new shopfront with external roller shutters.

In 2010 Age Concern moved out of the unit and the tenancy was taken over by the current retailer, Paradise Mini Market. In 2011 permission was granted to install a new shop front with roller shutters, the installation of replacement windows. The arched windows to the upper floor levels were reinstated to both the first and second floor level to the Spring Bank frontage and the new shopfront installed based on the approved scheme. Today, in 2023, the gutters and downpipes have been replaced with PVC. A permanent low quality metal awning has been created to the Spring Bank frontage.

The building has been subject to the following Planning Application submissions:-

- 2001 – Installation of roller shutter (Ref No : 01/00973/PF)
- 2001 – Retention of new shop front and installation of new windows (01/0974/PF)
- 2011 – Installation of new shopfront with roller shutters, installation of replacement windows, increase in height of rear store by 600mm and blocking up of side door. (Ref No 11/00281/FULL).

Monitoring Notes	The building is generally in a reasonable condition with no immediate risks identified. Any proposals to remove the retained details including the vertical pilasters between buildings, the decorative plaster/stone lintels and surrounds to the upper floor windows should not be permitted.
Recommended Actions	As part of a group of buildings along with 196, 198 along with the wider group including 188, 190 and 192 they would benefit from a collective restoration as a group. 194 has retained many of the original late Victorian features but would benefit from the following works :-

- Reinstatement of the upper section of the feature gable at roof level on the corner of Mayfield Street with restraint support ties back to the primary roof structure.
- Removal of the rendered finish and reinstatement of feature plaster moulds to arched windows using 194 as a template for mouldings.
- Brickwork repairs as required following removal of render.
- Removal of the pantile roof tiles and replacement with slate tiles.
- Removal of the fascias at eaves level and the reinstatement/repair of the decorative frieze.
- Replacement of PVC rainwater goods with cast iron and re routing to align with new shopfront pilasters.
- Repair of the vertical pilasters and plasterwork generally where damaged/deteriorated.
- Removal of the low quality timber shopfront and vinyl signage fascia and replacement with a new, high quality timber shopfront with fully integrated design including a retractable awning (if required).
- Redecoration throughout.
- Rationalisation of all services, antennas, alarm boxes, lighting, etc.

Street: Spring Bank

Historic Photo – 04/10/1994
(Phil Hampel)



Historic Photo 26/04/2010 (Phil Hampel)



Madina Butchers, 196

Current Photo – 11/05/2023 (author)



Building Notes	<p>196 Spring Bank was built between 1853 and 1889 and forms part of a group along with No 194 and 198 Spring Bank directly adjacent. The building is also part of a wider group with No 188, 190 and 192 which have the same detailing and together frame the entrance into Mayfield Street. The building was originally designed as a retail unit with two storey residential use above. The building comprises of a three storey red brick building with decorative features including vertical pilasters between each building in the group, decorative plaster arched lintels and pilasters to the first floor windows and flattened arched plaster lintels to the second floor level. The 1904 photograph shows that the shops had a retractable awnings. Windows were timber sliding sash windows and the eaves level featured a decorative frieze and timber eaves supports (see 1994 photo). The roof finish was slate and rainwater goods would have been cast iron.</p> <p>The 2010 photograph illustrates the change that have occurred during this time. The earlier shopfront has been removed and replaced with a new timber shopfront with a LHS door incorporating a roller shutter and retractable awning. The timber sliding sash windows have been replaced with unsympathetic uPVC windows. The gutters and downpipes have been replaced with PVC. The slate roof finish was removed and replaced with terracotta coloured pantiles.</p> <p>Since 2010 the main alteration is the painting of the façade using bright colours, undertaken in 2018. The building has been subject to the following Planning Application submissions:-</p> <ul style="list-style-type: none"> • 2004 – Retention of external staircase and new door to first floor to rear of property (Ref No. 04/01125/FUL)
Monitoring Notes	<p>The building is generally in a reasonable condition with no immediate risks identified. There is evidence of structural settlement to the party wall between 196 and 198. A Structural survey is recommended. Any proposals to remove the retained details including the vertical pilasters between buildings, the decorative plaster/stone lintels and surrounds to the upper floor windows should not be permitted.</p>
Recommended Actions	<p>As part of a group of buildings along with 194 and 198 along with the wider group including 188, 190 and 192 they would benefit from a collective restoration as a group.</p> <p>196 has retained many of the original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the paint to the brickwork. • Brickwork repairs/repointing as required following removal of paint. • Removal of the low quality timber shopfront and vinyl signage fascia and replacement with a new, high quality timber shopfront with fully integrated design including a retractable awning. • Removal of the pantile roof tiles and replacement with slate tiles. • Redecoration throughout. • Removal of the fascias at eaves level and the reinstatement/repair of the decorative frieze and timber eaves supports (see 1994 photo).

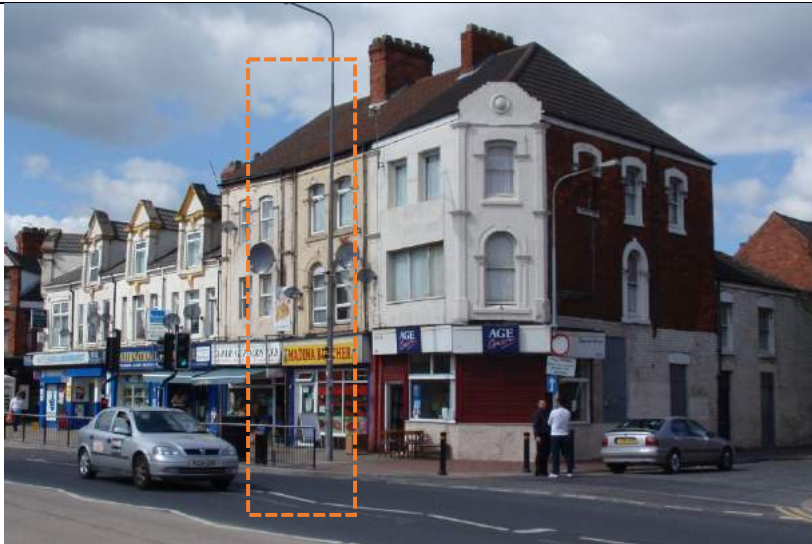
- Removal of the pantile roof finish and replacement with slate tiles.
- Replacement of PVC rainwater goods with cast iron and rerouting to align with new shopfront pilasters.
- Repair of the vertical pilasters and plasterwork generally where damaged/deteriorated.
- Rationalisation of all services, antennas, alarm boxes, lighting, etc.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 26/04/2010 (Phil Hampel)



Tabarak Foods Ltd, 198

Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>196 Spring Bank was built between 1853 and 1889 and forms part of a group along with No 196 and 198 Spring Bank directly adjacent. The building is also part of a wider group with No 188, 190 and 192 which have the same detailing and together frame the entrance into Mayfield Street. The building was originally designed as a retail unit with two storey residential use above. The building comprises of a three storey red brick building with decorative features including vertical pilasters between each building in the group, decorative plaster arched lintels and pilasters to the first floor windows and flattened arched plaster lintels to the second floor level. The 1904 photograph shows that the shops had a retractable awnings. Windows were timber sliding sash windows and the eaves level featured a decorative frieze and timber eaves supports. The roof finish was slate and rainwater goods would have been cast iron.</p> <p>During the late 1900's the building has had a variety of uses including offices, shop, hot-food take-away and food store.</p> <p>The 2010 photograph illustrates the change that have occurred during this time. The earlier shopfront has been removed and replaced with a new timber shopfront with a LHS door incorporating a roller shutter and retractable awning. The timber sliding sash windows have been replaced with unsympathetic uPVC windows and the window openings squared off with the arches removed to the first floor level. The brickwork has been partially rendered to conceal the brickwork infills upon removal of the arches. The render also conceals the extensive structural settlement that has occurred which is evident to the second floor window lintels. The gutters and downpipes have been replaced with PVC. The slate roof finish was removed and replaced with terracotta coloured pantiles.</p> <p>Since 2010 the main alteration is the painting of the façade using bright colours, undertaken in 2018.</p> <p>The building has been subject to the following Planning Application submissions:-</p> <ul style="list-style-type: none"> • 1985 – Change of use of part of ground floor from office to shop (85/00701/PF) • 1989 – Use of ground floor as hot food take-away (89/00902/PF) • 2001 – Use of premises as foodstore (ground floor only) retention 01/00541/PF)
<p>Monitoring Notes</p>	<p>The building is generally in a reasonable condition with no immediate risks identified. There is evidence of structural settlement to the party wall between 196 and 198. A Structural survey is recommended. Any proposals to remove the retained details including the vertical pilasters between buildings, the decorative plaster/stone lintels and surrounds to the upper floor windows should not be permitted. Repairs or reinstatement of the second floor window surrounds may be required upon removal of the render.</p>
<p>Recommended Actions</p>	<p>As part of a group of buildings along with 194 and 196 along with the wider group including 188, 190 and 192 they would benefit from a collective restoration as a group.</p> <p>198 has retained some of the original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Structural investigation to establish if settlement has halted.

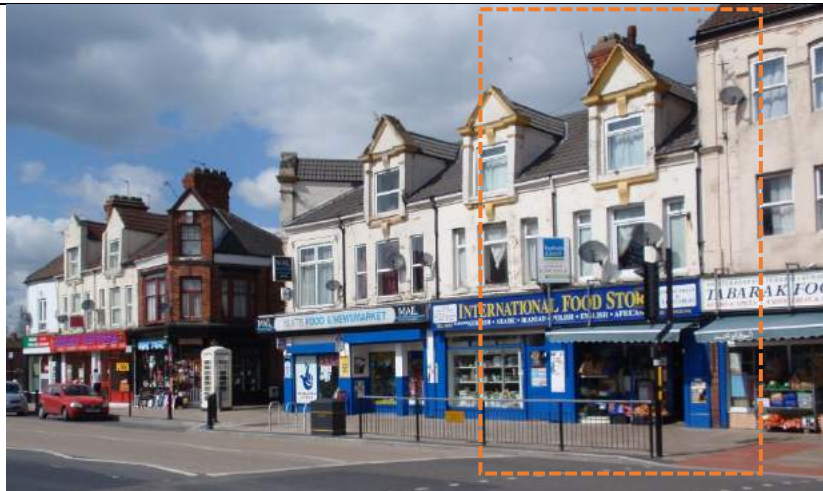
- Removal of the paint to the brickwork, repair and repointing of the brickwork.
- Reinstatement of the arched window openings and plaster surrounds.
- Removal of the uPVC windows and replacement with new timber sash windows.
- Brickwork repairs/repointing as required following removal of paint and render.
- Removal of the low quality timber shopfront and vinyl signage fascia and replacement with a new, high quality timber shopfront with fully integrated design including a retractable awning.
- Redecoration throughout.
- Removal of the pantile roof tiles and replacement with slate tiles.
- Removal of the fascias at eaves level and the reinstatement/repair of the decorative frieze and timber eaves supports.
- Replacement of PVC rainwater goods with cast iron and re-routing to align with new shopfront pilasters.
- Repair of the vertical pilasters and plasterwork generally where damaged/deteriorated.
- Rationalisation of all services, antennas, alarm boxes, lighting, etc.

Street: Spring Bank

Historic Photo 04/10/1994 (Phil Hampel)

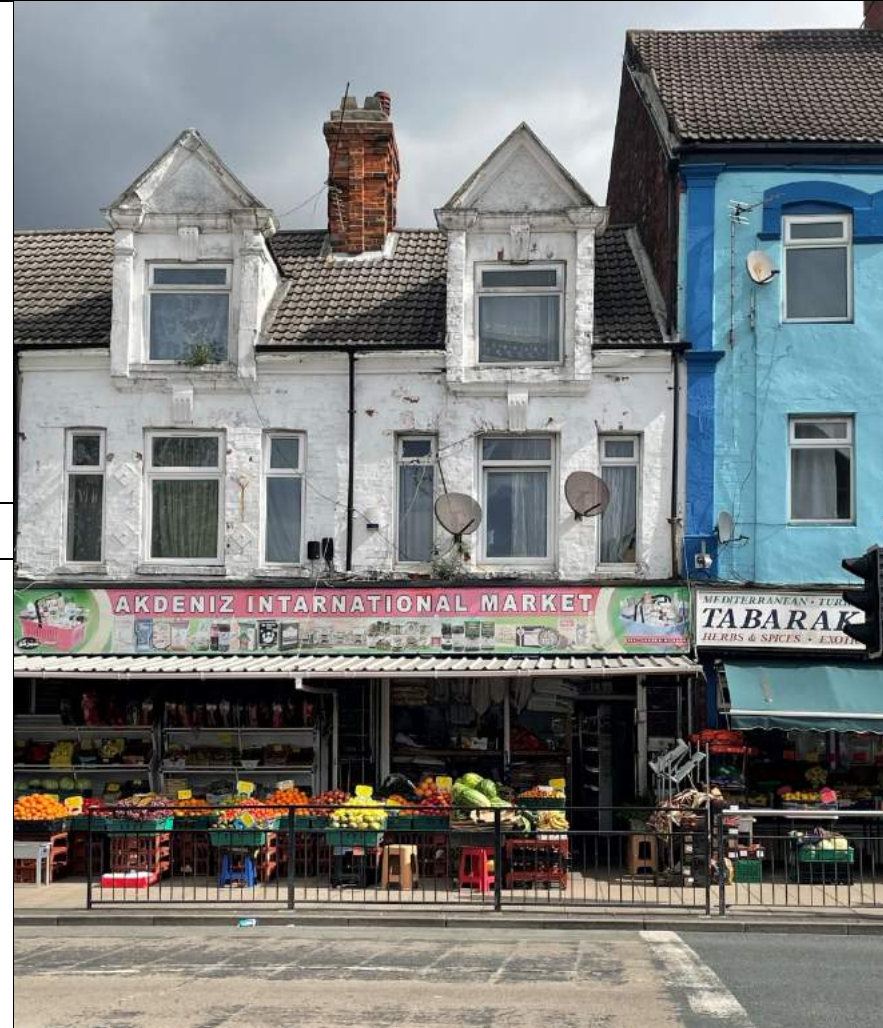


Historic Photo 26/04/2010 (Phil Hampel)



Akdeniz International market, 200 and 202

Current Photo – 11/05/2023 (author)



Building Notes

200-202 Spring Bank was built between 1853 and 1889 and forms part of a group along with No 204 and 206 Spring Bank directly adjacent. The building is also part of a wider group with No 208, 210, 212 and 214 which have the same detailing and together frame the entrance into Myrtle Villas. The building was originally designed

	<p>as a retail unit with two storey residential use above. The building comprises of a two storey red brick building with a feature projecting dormer window within the roof space. The building incorporates decorative features including scroll details to the dormer window cill and decorative arched brickwork lintels. The 1904 photograph (see 198) shows that the shops had a retractable awnings. Windows were timber sliding sash windows and the eaves level featured a decorative frieze. The roof finish was slate and rainwater goods would have been cast iron.</p> <p>The 1994 photograph illustrates the change that have occurred during this time. The earlier shopfront has been removed and replaced with a new timber shopfront incorporating a retractable awning. The timber sliding sash windows have been replaced with unsympathetic uPVC windows. The brickwork has been painted and conceals the brickwork. The gutters and downpipes have been replaced with PVC. The slate roof finish was removed and replaced with grey concrete pantiles.</p> <p>In 2014 a new shopfront was approved and installed. In 2021, an application was made to install permanent fixed canopy to the front of 200 and 202. This application was refused due to the visual impact on the Conservation Area but has since been installed without consent.</p> <p>The building has been subject to the following Planning Application submissions:-</p> <ul style="list-style-type: none"> • 2000 – Installation of two roller shutters (00/00239/PF) • 2014 – Installation of new shop front (00/00239/PF) Permitted • 2021 – Installation of fixed canopy to front (21/00861/FULL) Refused
Monitoring Notes	<p>The building is generally in a reasonable condition with no immediate risks identified. Any proposals to remove the retained details including the scroll keystone and cill details and decorative pilasters and cornice to the feature dormers should not be permitted.</p>
Recommended Actions	<p>As part of a group of buildings along with 204 and 206 along with the wider group including 208, 210, 212 and 214 they would benefit from a collective restoration as a group.</p> <p>200-202 has retained some of the original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the paint to the brickwork, repair and repointing of the brickwork. • Removal of the uPVC windows and replacement with new timber sash windows. • Reinstate the original shopfront corbels using retained corbel details to 208 Spring Bank as a template to inform the design and proportions. • Removal of the low quality timber shopfront and vinyl signage fascia and replacement with a new, high quality timber shopfront with fully integrated design including a retractable awning. • Redecoration throughout. • Repair of the eaves fascia to the dormer gable. • Removal of the pantile roof tiles and replacement with slate tiles.

- Removal of the fascias at eaves level and the reinstatement/repair of the decorative frieze.
- Replacement of PVC rainwater goods with cast iron and re-routing to align with new shopfront pilasters.
- Rationalisation of all services, antennas, alarm boxes, lighting, etc.

Street: Spring Bank

Historic Photo 04/10/1994 (Phil Hampel)



Historic Photo 26/04/2010 (Phil Hampel)



Akdeniz International market, 204 and 206

Current Photo – 11/05/2023 (author)



Building Notes

204-206 Spring Bank were built between 1853 and 1889 and forms part of a group along with No 200 and 202 Spring Bank directly adjacent. The building is also part of a wider group with No 208, 210, 212 and 214 which have the same detailing and together frame the entrance into Myrtle Villas. The building was originally designed

	<p>as a retail unit with two storey residential use above. The building comprises of a two storey red brick building with a feature projecting dormer window within the roof space. The building incorporates decorative features including scroll details to the dormer window cill and decorative arched brickwork lintels. The 1904 photograph (see 198) shows that the shops had a retractable awnings. Windows were timber sliding sash windows and the eaves level featured a decorative frieze. The roof finish was slate and rainwater goods would have been cast iron. The large first floor windows to No 206 would have had projecting bay windows as retained to the adjacent 208 Spring Bank opposite.</p> <p>The 1994 photograph illustrates the change that have occurred during this time. The earlier shopfront has been removed and replaced with a new metal shopfront. The timber sliding sash windows have been replaced with unsympathetic uPVC windows. The bay windows to the first floor of 206 have been removed and replaced with large windows within the opening. The brickwork has been painted and conceals the brickwork. The gutters and downpipes have been replaced with PVC. The slate roof finish was removed and replaced with grey concrete pantiles.</p> <p>In 2021, an application was made to install permanent fixed canopy to the front of 200 and 202. This application was refused due to the visual impact on the Conservation Area. This canopy has, however, been installed without consent and extends to cover the area in front of 204 and 206. Other changes that have occurred include the removal of the feature stepped brickwork and coping stone feature detail to the dormer eaves and pilasters.</p> <p>The building has been subject to no Planning Application submissions.</p>
Monitoring Notes	<p>The building is generally in a reasonable condition with no immediate risks identified. Any proposals to remove the retained details including the scroll keystone and cill details and decorative pilasters and cornice to the feature dormers should not be permitted.</p>
Recommended Actions	<p>As part of a group of buildings along with 204 and 206 along with the wider group including 208, 210, 212 and 214 they would benefit from a collective restoration as a group.</p> <p>200-202 has retained some of the original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the paint to the brickwork, repair and repointing of the brickwork. • Removal of the uPVC windows and replacement with new timber sash windows. • Reinstatement of the bay windows to the first floor level windows. • Reinstatement of the original shopfront corbels using retained corbel details to 208 Spring Bank as a template to inform the design and proportions. • Removal of the low quality timber shopfront and vinyl signage fascia and replacement with a new, high quality timber shopfront with fully integrated design including a retractable awning. • Reinstatement of the decorative pilaster details and eaves level details to the second floor dormers to both 204 and 206.

- Redecoration throughout.
- Removal of the pantile roof tiles and replacement with slate tiles.
- Removal of the fascias at eaves level and the reinstatement/repair of the decorative frieze.
- Replacement of PVC rainwater goods with cast iron and re-routing to align with new shopfront pilasters.
- Rationalisation of all services, antennas, alarm boxes, lighting, etc.

Street: Spring Bank

Historic Photo 04/10/1994 (Phil Hampel)



Historic Photo 26/04/2010 (Phil Hampel)



Historic Photo 2016 (google.co.uk/maps)



HU3 Corner, 208

Current Photo – 11/05/2023 (author)



Building Notes

208 Spring Bank was built between 1853 and 1889 and forms part of a group along with No 210, 214 and 214 Spring Bank directly adjacent. The building is also part of a wider group with No 200, 202, 204 and 206 which have the same detailing and together frame the entrance into Myrtle Villas.

The building was originally designed as a retail unit with two storey residential use above. The building comprises of a two storey red brick building with a feature projecting dormer window within the roof space. The building incorporates decorative features including scroll details to the dormer window cill, feature brickwork to the projecting dormer and decorative arched brickwork lintels. The 1904 photograph (see 198) shows that the shops had a retractable awnings. Windows were timber sliding sash windows and the eaves level featured a decorative frieze. The roof finish was slate and rainwater goods would have been cast iron. Projecting bay windows are located to the first floor level windows.

The 1994 photograph illustrates the change that have occurred during this time. The earlier shopfront has been removed and replaced with a new metal shopfront although the corbels, cornice and fascia have been retained in situ behind the existing signage. The timber sliding sash windows have been retained with the exception of the corner window above the entrance. The original bay windows to the first floor have been retained. The brickwork has been left exposed along with the brickwork detailing. The gutters and downpipes have been replaced with PVC. The slate roof finish has been retained.

The 2016 photo shows the corbels that are retained behind the existing signage.

Today in 2023, poor quality patch repairs have been undertaken to the top of the original shopfront cornice using felt. No 208, unlike many of the other units within the wider group, has retained most of its original features (with the exception of the shopfront which has been replaced) including the cornice, corbels and fascia to the ground floor, bay windows to the first floor and the sash window to the second floor level.

The building has been subject to the following Planning Application submissions:-

- 1995 – Alterations to side shop window, erection of rear two storey extension (Ref No: 95/00318/PF) Approved.

Monitoring Notes

The building is generally in a very poor condition and requires immediate attention to protect the building from the loss of original fabric which can be used as the basis to restore all eight buildings within the wider group. Any proposals to remove the cornice, corbels and fascia to the ground floor, bay windows to the first floor and the sash window and feature brickwork to the feature gable dormer to the second floor level. The building would benefit from a structural survey to assess structural stability. The removal of the fascia to the Spring Bank elevation eaves is recommended to prevent a health and safety issue.

Recommended Actions

As part of a group of buildings along with 210, 212 and 214 along with the wider group including 200, 202, 204 and 206, they would benefit from a collective restoration as a group.

208 has retained the majority of the original late Victorian features but would benefit from the following works :-

- Repair and repointing of the brickwork.
- Repair of the retained bay windows, sash windows and dormer windows (original fabric) and redecoration.
- Reprofilng/replacement of the stone cill to the dormer window if required to improve water run-off.
- Provide new lead/turn coated steel flashings to bay windows and cornice
- Reinstatement of the timber sash window to the first floor corner window.
- Repair the original shopfront corbels retained at 208 Spring Bank and use as a template to inform the design and proportions of new shop front designs to 200, 202, 204 and 206.
- Removal of the low quality timber shopfront and vinyl signage fascia and replacement with a new, high quality timber shopfront with fully integrated design including a retractable awning.
- Repair/repointing of the decorative pilaster details and eaves level details to the second floor dormer.
- Redecoration throughout.
- Repair of the slate tiles to the roof.
- Removal of the fascias at eaves level and the reinstatement/repair of the decorative frieze.
- Replacement of PVC rainwater goods with cast iron and re-routing to align with new shopfront pilasters.
- Rationalisation of all services, antennas, alarm boxes, lighting, etc.

Street: Spring Bank

Historic Photo 04/10/1994 (Phil Hampel)



Historic Photo 26/04/2010 (Phil Hampel)



Building Notes

210 and 212 Spring Bank were built between 1853 and 1889 and forms part of a group along with No 208 and 214 Spring Bank directly adjacent. The building is also part of a wider group with No 200, 202, 204 and 206 which have the same detailing and together frame the entrance into Myrtle Villas.

Square Pan Pizza, 210 and 212

Current Photo – 11/05/2023 (author)



	<p>The buildings were originally designed as retail units with two storey residential use above. The building comprises of a two storey red brick building with a feature projecting dormer window within the roof space. The buildings incorporate decorative features including scroll details to the dormer window cill, feature brickwork to the projecting dormer and decorative arched brickwork lintels. The 1904 photograph (see 198) shows that the shops had a retractable awnings. Windows were timber sliding sash windows and the eaves level featured a decorative frieze. The roof finish was slate and rainwater goods would have been cast iron.</p> <p>The 1994 photograph illustrates the change that have occurred during this time. The earlier shopfront, including the fascia and cornice have been removed and replaced with a new metal shopfront. The timber sliding sash windows have been replaced with unsympathetic uPVC windows. The brickwork has been painted and conceals the brickwork. The gutters and downpipes have been replaced with PVC. The slate roof finish was removed and replaced with terracotta concrete pantiles. The decorative steps brickwork detailing and coping stones to the dormer window have been removed. The original corbels were still retained in situ at this time and the signage located to each side.</p> <p>In 2009 Square Pan Pizza took over the tenancy on the restaurant unit and removed the original corbels to install a sign along the full length of the two units.</p> <p>In 2015, an application was made to apply ceramic tiles to the shop front to improve its appearance. This application was refused due to the visual impact on the Conservation Area. These tiles were however installed and are still in situ.</p> <p>The building has been subject to the following Planning Application submissions:-</p> <ul style="list-style-type: none"> • 1990 – Alterations to restaurant involving erection of single storey rear extension to kitchen and new shopfront (Ref 90/00698/PF) • 2003 – Installation of new shop front (Ref No 03/01363/FULL) Permitted • 2015 - Installation of ceramic tiles to shop front (15/01507/FULL) Refused
<p>Monitoring Notes</p>	<p>The building is generally in a poor condition and requires attention, particularly to the dormer and eaves level where blocked/defective gutters and defective flashings are causing water ingress into the structure causing cracking of the brickwork. Vegetation is also growing out of the coping to the dormer window.</p>
<p>Recommended Actions</p>	<p>As part of a group of buildings along with 208 and 214 along with the wider group including 200, 202, 204 and 206, they would benefit from a collective restoration as a group.</p> <p>210 and 212 have retained some of the original late Victorian features but would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the paint, brickwork repairs and repointing. • Provide new lead/turn coated steel flashings to dormer and cornice.

- Reinstatement of the timber sash windows throughout.
- Removal of the low quality timber shopfront and vinyl signage fascia and replacement with a new, high quality timber shopfront including the reinstatement of the historical corbels (using 208 as the template) with fully integrated design including a retractable awning.
- Repair/repointing of the decorative pilaster details and eaves level details to the second floor dormer.
- Redecoration throughout.
- Removal of the terracotta coloured pantiles and replacement with slate tiles.
- Repair and reinstate the stepped brickwork and coping stones to the dormer window.
- Reinstatement/repair of the decorative frieze.
- Replacement of PVC rainwater goods with cast iron and re-routing to align with new shopfront pilasters.
- Rationalisation of all services, antennas, alarm boxes, lighting, etc.

Street: Spring Bank

Historic Photo 04/10/1994 (Phil Hampel)



Historic Photo 26/04/2010 (Phil Hampel)



Kurdistan Grill House, 214

Current Photo – 11/05/2023 (author)



Building Notes

214 Spring Bank was built between 1853 and 1889 and forms part of a group along with No 208, 210 and 212 Spring Bank directly adjacent. The building is also part of a wider group with No 200, 202, 204 and 206 which have the same detailing and together frame the entrance into Myrtle Villas.

The buildings were originally designed as retail units with two storey residential use above. The building comprises of a two storey red brick building with a feature projecting dormer window within the roof space. The buildings incorporate decorative features including scroll details to the dormer window cill, feature brickwork to the projecting dormer and decorative arched brickwork lintels. The 1904 photograph (see 198) shows that the shops had a retractable awnings. Windows were timber sliding sash windows and the eaves level featured a decorative frieze. The roof finish was slate and rainwater goods would have been cast iron.

The 1994 photograph illustrates the substantial changes that have occurred during the late 1980's. The earlier shopfront, including the fascia and cornice have been removed and replaced with a new metal shopfront. The two narrow windows to each side of the first floor window have been blocked up (still visible in the render) and the elevation rendered, the sliding sash windows have been removed and replaced with a uPVC window. The dormer window and associated brickwork detailing has been removed in its entirety. The brickwork has been rendered concealing the brickwork. The gutters and downpipes have been replaced with PVC. The slate roof finish was removed and replaced with grey concrete pantiles. The scroll keystone detail to the head of the first floor window has been crudely cut short and retained.

In 2015, an application was made to extend the building into the adjacent site (216). See 216 for further details.

The building has been subject to the following Planning Application submissions:-

- 1987 – Change of use from shop to restaurant as extension to restaurant next door, construction of rear extension to provide larger kitchen, new shop front, new fire door and use of land to west for car parking. (Ref No 87/00311/PF)
- 1993 – Change of use to delicatessen serving hot and cold food (Ref No 93/00307/PF)
- 1994 – Installation of new shopfront (Ref No 94/00264/PF)
- 1994 – Proposed new shopfront (amended drawing) 84/00265/PF)
- 2003 – Change of use of premises to a café and retention of extraction flue.
- 2012 – Erection of two storey building attached to existing terrace to provide ground floor shop and two bedroom self contained flat on first floor and roof space. Alterations to rear staircase to existing flats (12/00141/FULL)
- 2013 – Erection of two storey building to provide ground floor shop and two self contained flats (application to vary approved plans – removal of front dormers). (Ref NO 13/00545/FULL)

	<ul style="list-style-type: none"> • 2016 – Erection of single storey rear extension, re-positioning of external staircase (16/00691/FULL)
Monitoring Notes	The building is generally in a reasonable condition with no immediate risk items identified.
Recommended Actions	<p>As part of a group of buildings along with 208, 210 and 212 along with the wider group including 200, 202, 204 and 206, they would benefit from a collective restoration as a group.</p> <p>214 have lost many of the original late Victorian features and would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the render, brickwork repairs and repointing. • Opening up of the two first floor narrow windows and reinstatement of the timber sash windows throughout. • Rebuilding of the original dormer window to match the group adjacent. • Removal of the low quality metal shopfront and vinyl signage fascia and replacement with a new, high quality timber shopfront including the reinstatement of the historical corbels (using 208 as the template) with fully integrated design including a retractable awning. • Repair/repointing of the decorative pilaster details and eaves level details to the second floor dormer. • Redecoration throughout. • Removal of the terracotta coloured pantiles and replacement with slate tiles. • Reinstatement/repair of the decorative frieze. • Replacement of PVC rainwater goods with cast iron and re-routing to align with new shopfront pilasters. • Rationalisation of all services, antennas, alarm boxes, lighting, etc.

Street: Spring Bank

Historic Photo 04/10/1994 (Phil Hampel)



Historic Photo 26/04/2010 (Phil Hampel)



Kurdistan Grill House, 216

Current Photo – 11/05/2023 (author)



Building Notes

216 Spring Bank was built after Planning Approval was approved in 2013 and is an extension to the group along with No 208, 210, 212 and 214 Spring Bank directly adjacent.

	<p>The building was originally designed as a retail unit at ground floor level with residential use above. The building comprises of a two storey red brick building with a rooflight window within the roof space. The building has been designed to replicate the proportions and details of the adjacent No 214 Spring Bank (although 214 has lost many of the original Victorian details) including sliding sash windows, stone cills, brick arched lintels and stone keystones.</p> <p>The building has been subject to the following Planning Application submissions:-</p> <ul style="list-style-type: none"> • 2012 – Erection of two storey building attached to existing terrace to provide ground floor shop and two bedroom self-contained flat on first floor and roof space. Alterations to rear staircase to existing flats (12/00141/FULL) • 2013 – Erection of two storey building to provide ground floor shop and two self-contained flats (application to vary approved plans – removal of front dormers). (Ref NO 13/00545/FULL) • 2016 – Erection of single storey rear extension, re-positioning of external staircase (16/00691/FULL)
Monitoring Notes	The building is generally in a reasonable condition with no immediate risk items identified.
Recommended Actions	<p>As a modern building the design is subservient to the wider context and replacement with a Victorian style shop frontage is not considered appropriate. The building would however benefit from the following works :-</p> <ul style="list-style-type: none"> • Replacement of PVC rainwater goods with cast iron/metal and re-routing to align with new shopfront pilasters. • Rationalisation of all services, antennas, alarm boxes, lighting, etc.

Street:	Spring Bank	Thrifty Car Rentals, 218-222
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Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Current Photo – 11/05/2023 (author)



Historic Photo 04/10/1994 (Phil Hampel)



Building Notes

The site of 218-222 Spring Bank on the corner with Mayfield Street was developed in the late 1800's and opened in 1878. The site comprised of three retail and residential buildings on the corner of Middleton Street along with the Ebenezer Chapel and Sunday School. The 1904 photograph shows the Ebenezer Chapel with its stone masonry yard directly adjacent and 226-228 Spring Bank in the background. In the foreground, the three storey red brick buildings can be seen to the right with ground floor retail use with a

	<p>decorative fascia and awning to 'Leach's Fruit Market', a first floor bay window with casement windows and first floor sash windows with a splayed lintel detail.</p> <p>Ebenezar Chapel was closed in 1955 and later demolished in 1976. The site has since been used as Car Rental site.</p> <p>The existing use has a negative impact on the character of the Conservation Area, created a hostile and lifeless solid brick wall frontage to both Spring Bank and Middleton Street.</p> <p>The site would provide an opportunity for future redevelopment. Active frontage with uses such as retail, restaurant, cafes, bars would be beneficial to bring active frontage to the street and provide natural surveillance. Upper floors could be utilised for leisure, residential or office development.</p> <p>The site is associated with No 224 Spring Bank and has been subject to the following Planning Applications :-</p> <ul style="list-style-type: none"> • Use of land for the parking of vehicles as an extension to the adjoining vehicle hire use, erection of 3.5m high boundary wall to Spring Bank and Middleton Street (89/00324/PF).
Monitoring Notes	No immediate action required. Site identified as a potential future development site for buildings of 3 storey in height.
Recommended Actions	Site identified as a potential future development site for buildings of 3 storey in height.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 1980's (Phil Hampel)



Comrie Holiday Park offices, 224

Historic Photo 26/04/2010 (Phil Hampel)



Historic Photo 22/11/2012 (Phil Hampel)



Current Photo – 11/05/2023 (author)






Current Photo – 11/05/2023 (author)



Building Notes

224 Spring Bank forms part of a wider group with 226 and 228 Spring Bank. No 224 Spring Bank can be seen in the background of the 1905 photograph. Ebenezer Chapel closed in 1955 and was later demolished in 1976. The building is designed as part of the wider group of 226 and 228 Spring Bank with a consistent eaves level with decorative eaves support brackets, decorative arched first floor windows, with plaster hoodmoulds. The 1904 photograph shows that 224 originally had the same highly decorative bay window and entrance portico as found at 226. Since its construction a number of alterations have been made. By the 1980's the highly decorative bay window and entrance portico have been removed and replaced with a low quality shopfront. The brickwork was painted and the boundary wall and iron railings were removed. In 2012 further external alterations were made to the facades including the removal of timber cladding, replacement of windows with vertical PVC sliding sash windows, a new entrance door and canopy. The large ground floor window was replaced with two vertically proportioned windows more in keeping the Victorian street frontage. More recently fascia's have been applied to the

	<p>eaves level decorative timber supports. The facades have also been rendered which has led to the loss of cohesion in the group of buildings with 226 and 228.</p> <p>224 Spring Bank and has been subject to the following Planning Applications :-</p> <ul style="list-style-type: none"> • 1989 - Use of land for the parking of vehicles as an extension to the adjoining vehicle hire use, erection of 3.5m high boundary wall to Spring Bank and Middleton Street (89/00324/PF). • 2012 – External alterations to front elevation comprising removal of timber cladding, installation of PVC vertical sliding sash windows, new entrance door and canopy. Erection of front boundary wall. (Ref No : 12/00434/FULL).
Monitoring Notes	No immediate action required.
Recommended Actions	<p>The building would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the PVC fascias to the eaves level to reveal the decorative eaves supports. • Removal of the render and undertake brickwork repairs and repointing where required. Reinstatement of the original timber sash windows with vertically proportioned windows. • Reinstatement of the bay window to match the adjacent No 226.

Street:	Spring Bank	226
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)		Current Photo – 11/05/2023 (author)
		
Historic Photo 26/04/2010 (Phil Hampel)		
		
Building Notes	<p>226 Spring Bank forms a group with the adjacent 224 and 228 Spring Bank. 226 was built between 1853 and 1858.</p> <p>The 1904 photograph shows Ebenezer Chapel with 224-228 Spring Bank in the background. 226 comprises of a two storey buff brick building with highly decorative projecting bay windows with Corinthian details to the pilasters and decorative cast iron railings to the edge of the bay roof and the</p>	

	<p>entrance portico. The entrance portico is also highly decorative with dentil details to the eaves level and Corinthian details to the column heads. The first floor windows are grouped with a continuous string course and hood mould. The roof finish was slate with a decorative timber eaves support detail supporting a timber gutter.</p> <p>The 2012 photograph shows the earlier timber sash windows with the vertical mullion creating a more vertical emphasis.</p> <p>In 2003, an application was approved for change of use from office to residential use (flats).</p> <p>Today in 2023, 226 has retained many of the original late Victorian details including the highly decorative bay window and portico details. The original entrance door has also been retained.</p> <p>The building has been subject to the following Planning Applications :-</p> <ul style="list-style-type: none"> • 2003 - Change of use from office, maisonette and 2 flats to 5 self-contained flats. (04/00008/COU).
Monitoring Notes	<p>No immediate action required. Building in very good condition. Any works to remove the decorative details including the portico, bay window and eaves level detail should not be permitted.</p>
Recommended Actions	<p>The building forms part of the wider group including 224 and 228 Spring Bank. The building therefore benefit from a collective restoration to the group as a whole.</p> <p>The building would benefit from the following works :-</p> <ul style="list-style-type: none"> • Replacement of uPVC windows with timber sliding sash windows. • A consistent colour scheme applied to the group.

Street: Spring Bank **228**

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)

Current Photo – 11/05/2023 (author)



Historic Photo 26/04/2010 (Phil Hampel)



Building Notes 228 Spring Bank forms a group with the adjacent 224 and 226 Spring Bank. 228 was built between 1853 and 1858. The 1904 photograph shows Ebenezer Chapel with 224-228 Spring Bank in the background. 226 comprises of a two storey buff brick building with highly decorative projecting bay windows with Corinthian details to the pilasters and decorative cast iron railings to the edge of the bay roof and the

	<p>entrance portico. The entrance portico is also highly decorative with dentil details to the eaves level and Corinthian details to the column heads. The first floor windows are grouped with a continuous string course and hood mould. The roof finish was slate with a decorative timber eaves support detail supporting a timber gutter.</p> <p>The 2012 photograph shows the earlier timber sash windows with the vertical mullion creating a more vertical emphasis.</p> <p>In 2003, an application was approved for change of use from office to residential use (flats). Today in 2023, 228 has retained many of the original late Victorian details including the highly decorative bay window and portico details. The decorative iron railings to the roof of the bay windows and portico have been removed. The original entrance door has also been retained.</p> <p>The building has been subject to the following Planning Applications :-</p> <ul style="list-style-type: none"> • 1990 – Change of use of dwelling to form offices involving laying out of car park to rear. (Ref No :090/01695/PF). • 1992 – Use of premises as a School of Music (Ref No : 92/00949/PF). • 2006 – Erection of boundary wall and fencing (Ref No : 06/00867/FULL) • 2013 – Change of use from offices to 4 self contained flats (13/00728/PCOU). • 2013 – Erection of 2 x 2 storey rear extensions to form two further flats (Ref No : 13/00884/FULL). • 2014 – Erection of pair of semi-detached dwellings (Ref No: 14/01388/FULL).
Monitoring Notes	No immediate action required. Building in very good condition. Any works to remove the decorative details including the portico, bay window and eaves level detail should not be permitted.
Recommended Actions	<p>The building forms part of the wider group including 224 and 228 Spring Bank. The building therefore benefit from a collective restoration to the group as a whole.</p> <p>The building would benefit from the following works :-</p> <ul style="list-style-type: none"> • Replacement of uPVC windows with timber sliding sash windows. • A consistent colour scheme applied to the group. • Reinstatement of the decorative iron railings to the bay windows and portico to match 226.

Street: Spring Bank

Historic Photo 26/04/2010 (Phil Hampel)



Historic Photo 22/11/2012 (Phil Hampel)



Marlborough Hotel, 232

Current Photo – 11/05/2023 (author)



Building Notes

The Marlborough Hotel (232) was built between 1853 and 1893 at the corner of Louis Street and Spring Bank, The building was designed to turn the corner with bay windows and dormer window features incorporated to both elevations. The building has been used predominantly as a hotel and bar. The building comprises of a two storey brick building with roof level accommodation. The roof was originally slate and gutters and downpipes would have been cast iron.

The building originally featured highly decorative details to the windows and dormers including splayed stone lintels and cills and decorative dentil details to the cornice of the bay windows. It is highly likely that the original building had bay windows to the ground floor only and in the mid-late 1900’s the first floor bay windows were added and the Spring Bank elevation partially rendered to conceal the new material against the original brickwork. The Louis Street elevation has retained the original lintels, key stones and dentil detail to the bay windows and is more decorative than the Spring Bank elevation. The building was painted to create a cohesive colour finish. The slate roof finish was removed and replaced with grey concrete pantiles.

More recently, in 2023, the building has been refurbished and painted throughout. Windows generally are uPVC sash windows to the ground floor level and uPVC casement windows to the upper floor levels. The cast iron rainwater goods are retained in situ.

The building has been subject to the following Planning Applications :-

- 2007 – Change of use from hotel (C1) to mixed-use hotel (C1) and drinking establishment (A4), erection of single storey extensions to front and side to create new entrances with steps and creation of outdoor seating area to front enclosed by railings (Ref 07/01561/FULL).
- 2008 – Proposed change of use of part of ground floor from Hotel (C1) to mixed use hotel (C1) and drinking establishment (A4). (Ref No : 22/00901/FULL).
- 2022 – Change of use of former public house with 23 guest rooms to serviced accommodation comprising 21 bedrooms (C1) ((Ref No : 22/00901/FULL).

Monitoring Notes

No immediate action required. Building in good condition. Any works to remove the decorative details to the Louis Street elevation including the decorative bay window details and feature stone lintels should not be permitted.

Recommended Actions

The building would benefit from the following works :-

- Replacement of all windows with timber framed sash windows
- The rationalisation of sky dishes, services, light fittings, alarm boxes.
- Removal of artificial grass to front gardens and the introduction of soft planting to the gardens.
- Installation of boundary treatment to the Louis Street elevation.
- Removal of the pantile roof finish and replacement with slate roof tiles.
- Removal of paint finish to brickwork and stone work, particularly to the Louis Street elevation.

Street: Spring Bank

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)



Historic Photo 1980's (Phil Hampel)



Cha Baa Thai Massage, 234

Historic Photo 26/04/2010 (Phil Hampel)



Current Photo – 11/05/2023 (author)



<p>Building Notes</p>	<p>234 Spring Bank forms a group with the adjacent 236, 238 and 240 Spring Bank. 234 was built between 1856 and 1893 as a group of large residential dwellings with generous front gardens bound by garden walls topped with cast iron railings. The property comprises of two storey buff brick buildings with feature gable dormers to the second floor roof level accommodation. The building was designed with two storey bay windows with decorative details including pilasters, panelling and cornice details and a lead roof to the bay. The entrance door features a terracotta arched surround with decorative keystones. The roof finish was slate and the eaves level featured dentil timber eaves support brackets to the cast iron gutters and downpipes. The gabled dormer has three feature spires providing further detail to the roof level. The 1904 photograph illustrates the building shortly after construction with all details in place.</p> <p>By the 1980's the bay window had been adapted to drop the cill to the front window to provide a door opening to a retail unit. The main entrance door is retained to provide access to the first and second floor residential accommodation.</p> <p>By 2010 the windows have been replaced with uPVC windows, the slate roof finish replaced with grey concrete pantiles. The decorative timber gutter supports have been removed.</p> <p>Today, in 2023, the building has retained most of its original features but has been painted at ground floor level.</p> <p>The building has been subject to the following Planning Applications :-</p> <ul style="list-style-type: none"> • 2013 – Display of internally illuminated 3 panel fascia sign (Ref No : 13/00263/ADV) (refused)
<p>Monitoring Notes</p>	<p>No immediate action required. Building in reasonably good condition. As the last remaining building within the group that has retained its original two storey bay window and details, terracotta arched entrance, the decorative spires to the gable, any works that proposed their removal should not be permitted.</p>
<p>Recommended Actions</p>	<p>The building forms part of the wider group including 236, 238 and 240 Spring Bank. The building would therefore benefit from a collective restoration to the group as a whole.</p> <p>The building would benefit from the following works :-</p> <ul style="list-style-type: none"> • Removal of the paint finish to the ground floor level facades. • Remove the uPVC gutters and downpipes and reinstate the cast iron gutters and downpipes. • Remove the uPVC windows and replace with new timber sash windows. • Remove the pantile roof and replace with slate roof finish. • Reinstall the timber eaves support details (as the 1904 photograph). • Remove the door entrance to the bay window and reinstate the cill and sash window. • Repair the ridge level spire to reinstate the top section (as the 1980's photograph).

Street: Spring Bank **Mr Shawarma, 236**

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)

Historic Photo 26/04/2010 (Phil Hampel)



Historic Photo 1980's (Phil Hampel)

Current Photo – 11/05/2023 (author)



Building Notes

236 Spring Bank forms a group with the adjacent 234, 238 and 240 Spring Bank. 236 was built between 1856 and 1893 as a group of large residential dwellings with generous front gardens bound by garden

	<p>walls topped with cast iron railings. The property comprises of two storey buff brick buildings with feature gable dormers to the second floor roof level accommodation. The building was designed with two storey bay windows with decorative details including pilasters, panelling and cornice details and a lead roof to the bay. The entrance door features a terracotta arched surround with decorative keystones. The roof finish was slate and the eaves level featured dentil timber eaves support brackets to the cast iron gutters and downpipes. The gabled dormer has three feature spires providing further detail to the roof level. The 1904 photograph illustrates the building shortly after construction with all details in place.</p> <p>By the 1980's the first floor bay window has been removed and an inappropriate horizontally proportioned window with red brickwork used to infill the buff brick wall. The sash window to the second floor level has also been removed and replaced with a new timber framed modern window. The main entrance door is retained.</p> <p>By 2010 the bay window has been reinstated to the first floor level but the ground floor bay window has been removed to provide a new metal shopfront. The quality of the replacement bay window does not reflect the quality or details of the earlier bay window detail. The upper floor windows have been replaced with uPVC windows, the slate roof finish replaced with grey concrete pantiles. The decorative timber gutter supports have been removed along with the three timber spires. A new window has also been introduced into the 'blind window' to the LHS of the bay window.</p> <p>Today, in 2023, the building has only retained limited original features including the terracotta arched entrance. An external roller shutter has been added.</p> <p>The building has been subject to the following Planning Applications :-</p> <ul style="list-style-type: none"> • 1985 – Change of use of front ground floor from residential to shop premises, reconstruction of new shop front.(Ref No : 95/00901/PF) • 2019 – Change of use from A1 to A5 hot food takeaway ground floor only (Ref No : 19/01272/FULL) Refused • 2023 – Retention of external roller shutters to front and side elevations to projecting shop front (retrospective application) 23/03095/FULL Pending Consideration • 2023 – Application for Certificate of Lawful Use – For existing restaurant at ground floor (23/03106/LAW) Pending Consideration
Monitoring Notes	<p>No immediate action risk items identified, although the building is in a relatively poor condition. Any works to remove the limited original details retained including the terracotta archway should not be permitted.</p>

Recommended Actions

The building forms part of the wider group including 234, 238 and 240 Spring Bank. The building would therefore benefit from a collective restoration to the group as a whole.

The building would benefit from the following works :-

- Remove the uPVC gutters and downpipes and reinstate the cast iron gutters and downpipes.
- Remove the uPVC windows and replace with new timber sash windows.
- Remove the metal framed shopfront and external shutter and replace with a new, high quality, modern timber shopfront with integrated security and awning.
- Reinststate the details to the bay window to the first floor level.
- Remove the pantile roof and replace with slate roof finish.
- Reinststate the timber eaves support details (as the 1904 photograph).
- Reinststate the three spires to the second floor gable (as the 1980's photograph).

Street: Spring Bank **Zaam Express, 238**

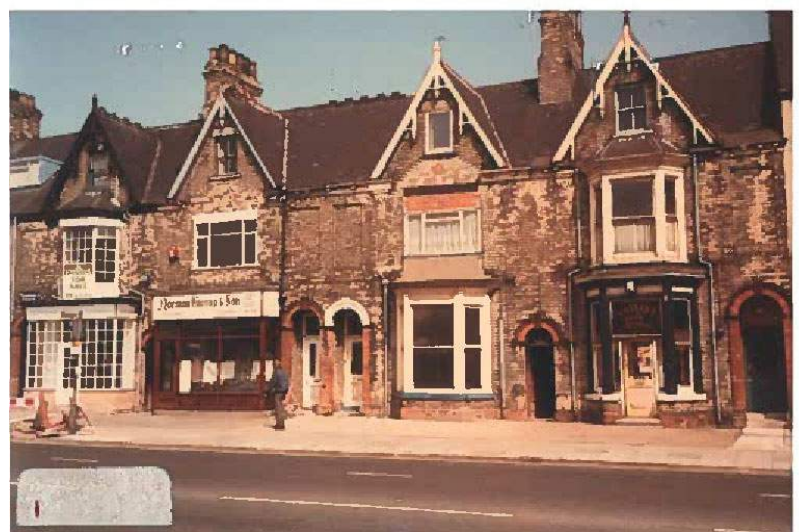
Historic Photo – 1904
(Hull Then and Now, Paul Gibson)

Historic Photo 26/04/2010 (Phil Hampel)



Historic Photo 1980's (Phil Hampel)

Current Photo – 11/05/2023 (author)



Building Notes

238 Spring Bank forms a group with the adjacent 234, 236, and 240 Spring Bank. 238 was built between 1856 and 1893 as a group of large residential dwellings with generous front gardens bound by garden

	<p>walls topped with cast iron railings. The property comprises of two storey buff brick buildings with feature gable dormers to the second floor roof level accommodation. The building was designed with two storey bay windows with decorative details including pilasters, panelling and cornice details and a lead roof to the bay. The entrance door features a terracotta arched surround with decorative keystones. The roof finish was slate and the eaves level featured dentil timber eaves support brackets to the cast iron gutters and downpipes. The gabled dormer has three feature spires providing further detail to the roof level. The 1904 photograph illustrates the building shortly after construction with all details in place.</p> <p>By the 1980's the first floor bay window has been removed and an inappropriate horizontally proportioned window with buff brickwork used to infill the buff brick wall. The sash window to the second floor level has also been retained at this time. The main entrance door is retained. The ground floor bay has been removed and replaced with a new high quality timber shopfront featuring stained glass from the tenant/building owner, Norma Harrop stained glass maker.</p> <p>By 2010 the upper floor windows have been replaced with uPVC windows, the slate roof finish replaced with grey concrete pantiles. The decorative timber gutter supports have been removed along with the three timber spires. At this time the Norman Harrop shopfront has been retained.</p> <p>Today, in 2023, the building has only retained limited original features including the terracotta arched entrance. The Norman Harrop shopfront has been removed and replaced with a modern metal framed shopfront. An external roller shutter has been added.</p> <p>The building has been subject to the following Planning Applications :-</p> <ul style="list-style-type: none"> • 1985 – Change of use of front ground floor from residential to shop premises, reconstruction of new shop front.(Ref No : 95/00901/PF) • 2019 – Change of use from A1 to A5 hot food takeaway ground floor only (Ref No : 19/01272/FULL) Refused • 2023 – Retention of external roller shutters to front and side elevations to projecting shop front (retrospective application) 23/03095/FULL Pending Consideration • 2023 – Application for Certificate of Lawful Use – For existing restaurant at ground floor (23/03106/LAW) Pending Consideration
Monitoring Notes	No immediate action risk items identified, although the building is in a relatively poor condition. Any works to remove the limited original details retained including the terracotta archway should not be permitted.
Recommended Actions	The building forms part of the wider group including 234, 236 and 240 Spring Bank. The building would therefore benefit from a collective restoration to the group as a whole.

The building would benefit from the following works :-

- Remove the uPVC gutters and downpipes and reinstate the cast iron gutters and downpipes.
- Remove the uPVC windows and replace with new timber sash windows.
- Remove the metal framed shopfront and external shutter and replace with a new, high quality, modern timber shopfront with integrated security and awning.
- Reinstall the details to the bay window to the first floor level.
- Remove the pantile roof and replace with slate roof finish.
- Reinstall the timber eaves support details (as the 1904 photograph).
- Reinstall the three spires to the second floor gable (as the 1980's photograph).

Street: Spring Bank **Mijdaf Logistics Services/Hello Therapy, 240**

Historic Photo – 1904
(Hull Then and Now, Paul Gibson)

Historic Photo 26/04/2010 (Phil Hampel)



Historic Photo 1980's (Phil Hampel)

Current Photo – 11/05/2023 (author)



Building Notes

240 Spring Bank forms a group with the adjacent 234, 236 and 238 Spring Bank. 240 was built between 1856 and 1893 as a group of large residential dwellings with generous front gardens bound by garden





	<p>walls topped with cast iron railings. The property comprises of two storey buff brick buildings with feature gable dormers to the second floor roof level accommodation. The building was designed with two storey bay windows with decorative details including pilasters, panelling and cornice details and a lead roof to the bay. The entrance door features a terracotta arched surround with decorative keystones. The roof finish was slate and the eaves level featured dentil timber eaves support brackets to the cast iron gutters and downpipes. The gabled dormer has three feature spires providing further detail to the roof level. The 1904 photograph illustrates the building shortly after construction with all details in place.</p> <p>By the 1980's the ground floor bay window has been removed and replaced a Georgian style shopfront and the windows to the first floor bay replaced with Georgian style windows. The sash window to the second floor level has also been retained along with the main entrance door is retained.</p> <p>By 2010 the bay window has been replaced but the quality of the replacement bay window does not reflect the quality or details of the earlier Victorian bay window detail. The upper floor windows have been replaced with uPVC windows, the slate roof finish replaced with grey concrete pantiles. The decorative timber gutter supports have been removed along with the three timber spires.</p> <p>Today, in 2023, the building has only retained limited original features including the terracotta arched entrance. The shopfront has been replaced again with a metal framed shopfront.</p> <p>The building has been subject to the following Planning Applications :-</p> <ul style="list-style-type: none"> • 1986 – Change of use from residence and office on ground and first floors with flat on the second floor to shop with associated living accommodation and ancillary office on the ground and first floors with flat on the second floor (Ref No : 86/00922/PF) • 2016 – Change of use of 5 bedroom HMO to 4 self-contained (1 bedroom) flats, external alterations including installation of first floor window in front elevation and installation of new windows to the rear (Ref No 16/01371/FULL) Withdrawn • 2017 – Change of use of 5 bedroom HMO to 3 self-contained (1 bedroom) flats. External alterations including installation of first floor window in front elevation and installation of new windows to rear (revised submission) Permitted
Monitoring Notes	<p>No immediate action risk items identified, although the building is in a relatively poor condition. Any works to remove the limited original details retained including the terracotta archway should not be permitted.</p>
Recommended Actions	<p>The building forms part of the wider group including 234, 236 and 238 Spring Bank. The building would therefore benefit from a collective restoration to the group as a whole.</p> <p>The building would benefit from the following works :-</p> <ul style="list-style-type: none"> • Remove the uPVC gutters and downpipes and reinstate the cast iron gutters and downpipes.

- Remove the uPVC windows and replace with new timber sash windows.
- Remove the metal framed shopfront and external shutter and replace with a new, high quality, modern timber shopfront with integrated security and awning.
- Reinststate the details to the bay window to the first floor level.
- Remove the pantile roof and replace with slate roof finish.
- Reinststate the timber eaves support details (as the 1904 photograph).
- Repair and redecorate the three spires to the second floor gable (as the 1980's photograph).

Street: Spring Bank	Hair Me Out, 242
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)	Historic Photo 22/11/2012 (Phil Hampel)
	
Historic Photo 26/04/2010 (Phil Hampel)	Current Photo – 11/05/2023 (author)
	

<p>Building Notes</p>	<p>244 Spring Bank forms a group with the adjacent 246 and 248 Spring Bank. 244 was built between 1856 and 1893. The group were originally two storey buff brick residential properties with highly decorative double height bay windows and single dormer windows to the roof level accommodation. The 1904 photograph shows how 244 was a high quality residential property located directly adjacent to the Botanical Gardens. The property had a brickwork boundary wall with iron railings and brick gate piers. The two storey bay windows (seen behind/between the trees) had decorative features and detailing and sliding sash timber windows. The entrance door and the window directly above had feature stone arched lintels and inposts. The single dormer windows were glazed to both the front and sides. The roof finish was slate and the gutters were cast iron with decorative timber supports. By the 1980's, radical alterations had occurred. Following a planning approval in 1985, the boundary wall and piers to the front gardens was removed and with the two storey bay window and a new single storey extension added to the ground floor level to create a new shopfront. The windows were replaced with horizontally proportioned windows and, because of the scarring left by the removal of the bay window, the frontage was rendered. The first floor arched window was partially infilled at the head. The dormer window was removed and a large dormer window extending the full width of the property installed. These alterations were detrimental to the character of the building and the Conservation Area. Today in 2023, very little has changed since the 1985 works with the exception of the replacement of the slate tile with grey concrete pantiles and the installation of a new uPVC door to the upper floor apartments.</p> <p>The building has been subject to the following Planning Applications :-</p> <ul style="list-style-type: none"> • 1985 – Change of use from existing archway to shop premises (new shop front) alteration of line of frontage (Ref No 85/00387/PF) • 1989 – Erection of buildings to form shops and offices (outline application)
<p>Monitoring Notes</p>	<p>The building is generally in a poor condition and has retained very little historic features to the Spring Bank frontage. Any works to remove the stone arched lintels to the first floor window (still in-situ) and the ground floor door (which may be concealed behind the existing porch should not be permitted. The building currently has a negative impact on the Conservation Area and is located at a key junction so forms a focal point when entering the Conservation Area.</p>
<p>Recommended Actions</p>	<p>The building forms part of the wider group including 246 and 248 Spring Bank. The building therefore benefit from a collective restoration to the group as a whole.</p> <p>The building would benefit from the following works :-</p> <ul style="list-style-type: none"> • Replacement of the existing shopfront with a high quality shopfront.

- Removal of existing part wall and canopy to reveal the original arched lintel to the door.
- Removal of the rendered finish, undertake repairs to match in brickwork where bay was removed and replace the first floor bay window.
- Replacement of the entrance door with a new timber door.
- Replacement of the first floor windows with sliding sash windows including a full height window to the arched window above the door.
- Removal of the full width dormer and replacement with two single dormers.
- Removal of the pantile roof finish and replacement with slate tiles.
- Removal of the PVC rainwater goods and replacement with cast iron.
- Rationalisation/removal of services including satellite dishes, aerials, cables, air conditioning units, alarm boxes.

Street: Spring Bank	Thai Massage and Waxing, 246-248
Historic Photo – 1904 (Hull Then and Now, Paul Gibson)	Historic Photo 22/11/2012 (Phil Hampel)
	
Historic Photo 26/04/2010 (Phil Hampel)	Current Photo – 11/05/2023 (author)
	

<p>Building Notes</p>	<p>246 Spring Bank forms a group with the adjacent 244 Spring Bank. 246 was built between 1856 and 1893. The group were originally two storey buff brick residential properties with highly decorative double height bay windows and single dormer windows to the roof level accommodation.</p> <p>The 1904 photograph shows how 244 was a high quality residential property located directly adjacent to the Botanical Gardens. The property had a brickwork boundary wall with iron railings and brick gate piers. The two storey bay windows (seen behind/between the trees) had decorative features and detailing and sliding sash timber windows. The entrance door and the window directly above had feature stone arched lintels and inposts. The single dormer windows were glazed to both the front and sides. The roof finish was slate and the gutters were cast iron with decorative timber supports.</p> <p>By 2010, radical alterations had occurred. Following a planning approval in 1999 to convert both ground and first floor to retail use, the boundary wall and piers to the front gardens was removed and with the two storey bay window and a new single storey extension added to the ground floor level to create a new shopfront. The windows were replaced with uPVC and the bay window replaced with a new metal framed bay window. The first floor arched window was partially infilled at the head and base. The dormer window was retained but the window replaced with uPVC and the sides covered in uPVC cladding. The external walls were rendered. These alterations were detrimental to the character of the building and the Conservation Area.</p> <p>Today in 2023, very little has changed since the 1985 works with the exception of the replacement of the slate tile with grey concrete pantiles and the painting of the render a bright pink colour.</p> <p>The building has been subject to the following Planning Applications :-</p> <ul style="list-style-type: none"> • 1999 - Change of use of first floor and second floor to retail use with residential above including new windows to first and second floor (Ref No : 99/00853/PF) • 2007 – Change of use of first and second floor from furniture shop to 6 self contained flats including external alterations to rear elevation (Ref No : 07/00155/COU) Permitted • 2007 – Change of use of ground floor of properties from furniture shop to mixed use brasserie/wine bar, installation of new shopfront, use of yard as beer garden (07/00156/COU) Withdrawn • 2008 – Retention of external alterations to front elevation at ground floor including new timber fascia incorporating blue metal cladding (08/00780/FULL) Refused • 2016 – Change of use from A1 (shop) to A1(shop)/A3 (restaurant/café) mixed use (Ref No : 08/00780/FULL) Permitted
<p>Monitoring Notes</p>	<p>The building is generally in a poor condition and has retained very little historic features to the Spring Bank frontage. Any works to remove the stone arched lintels to the first floor window (still in-situ) should</p>

	<p>not be permitted. The building currently has a negative impact on the Conservation Area and is located at a key junction so forms a focal point when entering the Conservation Area.</p>
<p>Recommended Actions</p>	<p>The building forms part of the wider group including 244 Spring Bank. The building therefore benefit from a collective restoration to the group as a whole.</p> <p>The building would benefit from the following works :-</p> <ul style="list-style-type: none"> • Replacement of the existing shopfront with a high quality shopfront. • Removal of the rendered finish and first floor bay window, undertake repairs to match in brickwork where bay was removed and replace the first floor bay window with a canted bay window. • Replacement of the first floor windows with sliding sash windows including a full height window to the arched window above the door. • Replacement of the dormer window with sliding sash and the sides finished in lead/turncoated steel. • Removal of the pantile roof finish and replacement with slate tiles. • Removal of the PVC rainwater goods and replacement with cast iron. • Rationalisation/removal of services including satellite dishes, aerials, cables, air conditioning units, alarm boxes.